



**JULY 6, 2021**

**3:00 P.M.**

**CITY COUNCIL  
REGULAR MEETING AND  
WORKSHOP AGENDA**





**NOTICE OF REGULAR MEETING AND  
WORKSHOP OF THE CITY COUNCIL OF  
THE CITY OF HARKER HEIGHTS, TEXAS**

*The City Of Harker Heights*  
305 Miller's Crossing  
Harker Heights, Texas 76548  
Phone 254/953-5600  
Fax 254/953-5614

Notice is hereby given that, beginning at 3:00 p.m. on Tuesday, July 6, 2021, and continuing from day to day thereafter if necessary, the City Council of the City of Harker Heights, Texas, will hold a regular meeting and workshop in the Kitty Young Council Chamber at 305 Miller's Crossing, Harker Heights, Texas 76548. The subjects to be discussed are listed in the following agenda:

**REGULAR MEETING AGENDA**

**Mayor**  
Spencer H. Smith

**Mayor Protem**  
Jennifer McCann

**City Council**  
Michael Blomquist  
Jackeline Soriano Fountain  
Linda Nash  
Sam Halabi

**I. Roll Call:**

**II. Presentations by Citizens:**

Citizens who desire to address the Council on any matter may do so during this item. Please understand that while the Council appreciates hearing your comments, State law (Texas Gov't Code §551.042) prohibits them from: (1) engaging in discussion other than providing a statement of specific factual information or reciting existing City policy, and (2) taking action other than directing Staff to place the matter on a future agenda. Please state your name and address for the record and limit your comments to three minutes.

**III. Mayoral Proclamations and Presentations:**

1. Proclaim July, 2021, as "Park and Recreation Month", and July 16, 2021, as "Park and Recreation Professionals Day".

**IV. Consent Items:**

1. Discuss and consider approving an amendment to the City of Harker Heights, Texas, May 11, 2021, City Council meeting minutes to correct a clerical error, and take the appropriate action.

**V. New Business:**

1. Discuss and consider approving a request for Preliminary Plat approval for the subdivision referred to as Stone Lake Trails, on property described as a certain tract Page 2 of 3 of land located in the John Hughes Survey, A-379, located in Bell County, Texas; subject tract being all of the following:
  1. A called "28.68 Acres" conveyed in a Warranty deed from Monica Martin, et al to Emmons General Investments, LTD dated 6-19-2018 and recorded in Document No. 2018-00025884 of the Official Public Records of Bell County (OPRBC)

2. A called "53.70 Acres" conveyed in an Assumption Special Warranty Deed from Unlimited Exchange II, Inc. to Emmons General Investments, LTD dated 2-28-2018 and recorded in Document No. 2018-00008312, OPRBC
  3. A called "41.06 Acres" conveyed in a Warranty Deed from Ken Emery, et al to Emmons General Investments, LTD dated 8-13-2012 and recorded in Document No. 2012-00033701, OPRBC and
  4. A called "11.326 Acres" conveyed in a Warranty Deed from Emmons Construction, LTD to Emmons General Investments, LTD dated 9- 25-2013 and recorded in Document No. 2013-00042514, OPRBC Generally located East of Warriors Path and South of Knight's Way (FM 2410), Harker Heights, Bell County, Texas, and take the appropriate action. (Planning and Development Director)
2. Discuss and consider approving a request for Preliminary Plat approval for the subdivision referred to as Corona De Vida Addition, on property described as a 9.997 acre tract of land in Bell County, Texas, being part of the Uriah Hunt Survey, Abstract No. 401, the land herein being all of a called 9.99 acre tract of land conveyed in a Warranty Deed to Corona De Vida, a nonprofit corporation, being described of record in Document No. 2020021660, Official Public Records of Real Property, Bell County, Texas, generally located East of Comanche Gap Road, Harker Heights, Bell County, Texas, and take the appropriate action. (Planning and Development Director)

**VI. Items from Council:**

1. Council Member Closing Statements.

**VII. Announcements:**

1. Updates and comments from the Mayor.

**VIII. Adjourn Regular Meeting and Call to Order Workshop Session:**

**WORKSHOP AGENDA**

**IX. New Business:**

1. Receive and discuss an update and presentation from Clarence Enochs on the National Mounted Warfare Foundation. (Assistant City Manager)
2. Receive and discuss a presentation to amend §151.001 and §151.003 of the Harker Heights Code of Ordinances to add a definition and exemption for "Wall Art". (Planning and Development Director)

**X. Adjournment:**

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Harker Heights, Texas, a place readily accessible to the general public at all times, on the 2<sup>nd</sup> day of July 2021, by 2:00 p.m., and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.



Julie Helsham  
City Secretary

*“This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary’s office at 254-953-5600, or FAX 254-953-5614, or email [jhelsham@harkerheights.gov](mailto:jhelsham@harkerheights.gov) for further information.”*

*“Pursuant to Chapter 551 of the Government Code the City Council reserves the right to go into Closed Meeting on any item listed above if deemed necessary.”*

**The public may listen to live-stream audio of this meeting by dialing-in using your phone or join the meeting from your computer, tablet, or smartphone. Use the following information to connect to the meeting:**

**Please join the meeting from your computer, tablet or smartphone.**

<https://global.gotomeeting.com/join/879133701>

**You can also dial in using your phone.**

United States (Toll Free): [1 866 899 4679](tel:18668994679)

United States: [+1 \(571\) 317-3116](tel:+15713173116)

**Access Code:** 879-133-701



## PROCLAMATION

**Whereas**, parks and recreation programs are an integral part of communities throughout this country, including the City of Harker Heights; and

**Whereas**, our parks and recreation are vitally important to establishing and maintaining the quality of life in our communities, ensuring the health of all citizens, and contributing to the economic and environmental well-being of a community and region; and

**Whereas**, parks and recreation programs build healthy, active communities that aid in the prevention of chronic disease, provide therapeutic recreation services for those who are mentally or physically disabled, and also improve the mental and emotional health of all citizens; and

**Whereas**, parks and recreation programs increase a community's economic prosperity through increased property values, expansion of the local tax base, increased tourism, the attraction and retention of businesses, and crime reduction; and

**Whereas**, parks and natural recreation areas improve water quality, protect groundwater, prevent flooding, improve the quality of the air we breathe, provide vegetative buffers to development, and produce habitat for wildlife; and

**Whereas**, our parks and natural recreation areas ensure the ecological beauty of our community and provide a place for children and adults to connect with nature and recreate outdoors; and

**Whereas**, the U.S. House of Representatives has designated July as Parks and Recreation Month; and

**Whereas**, the City of Harker Heights recognizes the benefits derived from parks and recreation resources

**Now Therefore**, I, Spencer H. Smith, Mayor of the City of Harker Heights do hereby proclaim July, 2021 to be

### **“Park and Recreation Month”**

**And** July 16, 2021 to be

### **“Park and Recreation Professionals Day”**

In the City of Harker Heights, Texas, and urge all citizens to take advantage of the City of Harker Heights Parks and Recreation system and to recognize the vital contributions of the employees and volunteers, and to thank them for all that they do.

**In Witness Whereof**, I have set my hand and have affixed the Seal of the City of Harker Heights, Texas, this 6<sup>th</sup> day of July, 2021.

---

Spencer H. Smith, Mayor  
City of Harker Heights



## CITY COUNCIL MEMORANDUM

### AGENDA ITEM# IV-1

**FROM: THE OFFICE OF THE CITY MANAGER**

**DATE: JULY 6, 2021**

**DISCUSS AND CONSIDER APPROVING AN AMENDMENT TO THE CITY OF HARKER HEIGHTS, TEXAS, MAY 11, 2021, CITY COUNCIL MEETING MINUTES TO CORRECT A CLERICAL ERROR, AND TAKE THE APPROPRIATE ACTION.**

**EXPLANATION:**

During the May 11, 2021, City Council meeting, the council approved 5-0 a request for alcohol services for the Harker Heights Chamber of Commerce event on Saturday, September 11, 2021, at the 2410 Community Park. A clerical error in the approved May 11<sup>th</sup> meeting minutes stated the motion incorrectly as “Harker Heights Chamber of Commerce, *Central Texas* Food, Wine & Brew Festival”. The motion that was made during the council meeting on May 11, 2021, was to approve the alcohol request for the “Harker Heights Chamber of Commerce, *Harker Heights* Food, Wine & Brew Festival - Cheers to our Hometown Heroes”.

To accurately reflect the motion that was made, the meeting minutes should be written as:

“Council discussed and considered approving a request for Alcohol Services for the Harker Heights Chamber of Commerce “Central Texas Food, Wine & Brew Festival” at 2410 Community Park on Saturday, September 11, 2021. Jeff Achee, Parks and Recreation Director, made the presentation. Nash made the motion to approve a request for alcohol services for the Harker Heights Chamber of Commerce “Harker Heights Food, Wine & Brew Festival – Cheers to our Hometown Heroes” at the 2410 Community Park for September 11, 2021. Seconded by Blomquist. All in favor. Motion approved 5-0.”.

**ACTION BY THE CITY COUNCIL:**

1. Motion to APPROVE/DENY an amendment to the City of Harker Heights, Texas, May 11, 2021, City Council Meeting Minutes to correct a clerical error.
2. Any other action desired.

**ATTACHMENTS:**

1. Revised May 11, 2021, City Council Meeting Minutes

Minutes of the of the City Council meeting held at 5:00 p.m. on Tuesday, May 11, 2021, by a telephonic meeting to contain the spread of COVID-19 in accordance with Governor Abbott’s declaration of the COVID-19 public health threat and action to temporarily suspend certain provisions of the Texas Open Meetings Act issued on March 16, 2020:

<b>Roll Call:</b>	Spencer H. Smith	Mayor
	Michael Blomquist	Mayor Pro-tem
	Jennifer McCann	Councilmember Place 1
	Jackeline Soriano Fountain	Councilmember Place 3
	Lynda Nash	Councilmember Place 4
	Jody Nicholas	Councilmember Place 5
	David Mitchell	City Manager
	Julie Helsham	City Secretary

**General Election Business:**

1. Council canvassed the Election Returns for the May 1, 2021, General Election for the City of Harker Heights, Texas.

Councilmember McCann and Councilmember Nash canvassed the Election results. The results are as follows:

TOTAL VOTERS – 1,393

COUNCIL PLACE 2 CANDIDATES	TOTALVOTES
Michael Blomquist	865 / 64%
Howard “Scot” Arey	497 / 36%

COUNCIL PLACE 5 CANDIDATE	TOTAL VOTES
Vitalis Dubininkas	48 / 4%
Sam Halabi	504 / 36%
Stacey L. Wilson	473 / 34%
Jeffrey Keith Harris	360 / 26%

Michael Blomquist was declared elected for the Councilmember, Place 2 race for a three-year term (2021-2024).

No candidate received a majority vote for the office of Councilmember, Place 5, (expired three-year term).

McCann made the motion to approve. Seconded by Nash. All in favor. Motion approved 4-0.

2. Installation of Officer:

- (a) Swear in Councilmember, Place 2. Three Year Term 2021-2024.

Judge Billy Ray Hall, Municipal Court Judge, administered the Oath of Office to Michael Blomquist to serve as Councilmember, Place 2, for a three-year term ending May, 2024.

3. Council discussed and considered approving a Resolution of the City Council of the City of Harker Heights, Texas, Ordering a Runoff Election to be held on Saturday, June 5, 2021, for the purpose of electing a Council Member, Place 5, for a three year term (2021-2024) to the Harker Heights City Council; Designating the Polling Place; Authorizing the appointment of Election Officials; Authorizing an Election Services Contract with the Bell County Election Administrator for the coordination and use of voting machines and equipment, and authorizing the City Manager to sign the agreement on behalf of the City; Providing for an effective date. Julie Helsham, City Secretary, made the presentation. McCann made the motion to approve as presented. Seconded by Nash. All in favor. Motion approved 4-0.

**Mayoral Proclamations and Presentations:**

1. Mayor Smith presented Eugene Gardner with the Outstanding Citizen Award.
2. Mayor Smith presented a proclamation to Police Department personnel proclaiming May 9 – 15, 2021, as “National Police Week”.
3. Mayor Smith presented a proclamation to Fire Department personnel proclaiming May 16 – 22, 2021, as “Emergency Medical Services (EMS) Week”
4. Mayor Smith presented a proclamation to Mark Hyde, Public Works Director and Yvonne Spell, Public Works Customer Relations Supervisor, proclaiming May 16 – 22, 2021, as “Public Works Week”.
5. Mayor Smith presented a proclamation to Mike Beard, Building Official and Eric Moree, Building Inspector, proclaiming May 2021, as “Building Safety Month”.
6. Mayor Smith presented a proclamation to Jeff Achee, Parks and Recreation Director and Angie Wilson, Parks Advisory Board Chairperson, proclaiming May 2021, as “National Bike Month”.
7. Mayor Smith presented a proclamation to Sara Gibbs, Activities Coordinator, proclaiming May 2021, as “Older Americans Month”.

*At 5:35 p.m. Mayor Smith called for a short break.*

*Mayor Smith reconvened the meeting at 5:40 p.m.*

**Consent Items:**

1. Council discussed and considered approving the minutes of the meeting held on April 27, 2021. Blomquist made the motion to approve as written. Seconded by Nicholas. All in favor. Motion approved 4-0.

**Old Business:**

1. Council discussed and considered approving a Resolution of the City Council of the City of Harker Heights, Texas, establishing its Policy and Procedures for Mayor and Council relations, Council and Staff relations, and Council and Media relations. Jerry Bark, Assistant City Manager, made the presentation. Nicholas made the motion to approve. Seconded by Nash. All in favor. Motion approved 4-0.



## **New Business:**

*Councilmember Fountain joined the meeting at 5:50 p.m.*

1. Council discussed and considered approving a request for Preliminary Plat approval for the subdivision referred to as The Village at Nolan Heights, on property described as a 47.65 acre tract of land in Bell County, Texas, being part of the H.B. Littlefield Survey, Abstract No. 511, and being all of the called 47.626 acre tract of land described in a deed to Cactus Jack Development, Inc., recorded in Instrument No. 2020-064289, Deed Records of Bell County, Texas, generally located North of KISD Middle School No. 14, AKA Nolan Middle School along Warriors Path, Harker Heights, Bell County, Texas. Kristina Ramirez, Planning and Development Director, made the presentation. Blomquist made the motion to approve. Seconded by McCann. All in favor. Motion approved 5-0.
2. Council discussed and considered approving a Resolution of the City of Harker Heights, Texas, finding that Oncor Electric Delivery Company LLC's application for approval to amend its Distribution Cost Recovery Factor to Increase Distribution Rates within the City should be denied; authorizing participation with Oncor Cities Steering Committee; authorizing the hiring of Legal Counsel and Consulting Services; finding that the City's Reasonable Rate Case Expenses shall be reimbursed by the Company; finding that the Meeting at which this Resolution is passed is open to the public as required by law; requiring notice of this Resolution to the Company and Legal Counsel. Ayesha Lealiiiee, Finance Director, made the presentation. McCann made the motion to approve. Seconded by Nicholas. All in favor. Motion approved 5-0.
3. Council discussed and considered approving a request for Alcohol Services for the Harker Heights Chamber of Commerce "Central Texas Food, Wine & Brew Festival" at 2410 Community Park on Saturday, September 11, 2021. Jeff Achee, Parks and Recreation Director, made the presentation. Nash made the motion to approve a request for alcohol services for the Harker Heights Chamber of Commerce "Harker Heights Food, Wine & Brew Festival – Cheers to our Hometown Heroes" at the 2410 Community Park for September 11, 2021. Seconded by Blomquist. All in favor. Motion approved 5-0.

## **Reports of Advisory Boards & Commissions:**

Mayor Pro-tem Blomquist informed Council that the Director of the Bell County Health District, Amanda Robinson-Chadwell has offered her resignation. Blomquist stated that Bell County Health District Commissioner Bill Shumann and the rest of the Board are in search mode to find an interim Director and that he will keep Council updated as things develop.

## **Items from Council:**

Mayor Pro-tem Blomquist stated that he attended the following events:

- May 8<sup>th</sup> – Harker Heights Farmers Market Grand Opening at City Hall
- May 8<sup>th</sup> – Harker Heights Chamber of Commerce Spring Fest at Carl Levin Park

Councilmember McCann stated that she and Police Chief Gadd participated in the National Day of Prayer and that she said a prayer for government and Chief Gadd said a prayer for our First Responders. She stated that Chief Gadd did an amazing job.

Councilmember Nash stated that attended the Vision 21 Class hosted by Fort Hood and got to be part of a Community Forum hosted by Congressman Roger Williams.

## **Staff Reports:**

1. Council received and discussed an update on the 2021 Street Improvement - Winter Storm Repair Projects. Mark Hyde, Public Works Director, made the presentation. No action taken.
2. Council received and discussed the Fiscal Year 2020 – 2021 Second Quarter Investment Report. Ayesha Lealiiiee, Finance Director, made the presentation. No action taken.

3. Council received and discussed the Unaudited Financial Statements for the Second Quarter of Fiscal Year 2020 – 2021. Ayesha Lealiiee, Finance Director, made the presentation. No action taken.

*At 6:54 p.m. Mayor Smith called for a short break.*

*Mayor Smith reconvened the meeting at 7:00 p.m.*

4. Council received and discussed the City Manager’s Report. David Mitchell, City Manager, made the presentation. No action taken.

**Announcements:**

Mayor Smith stated that he attended the following events:

- April 28<sup>th</sup> – Fort Hood Community Services Council Meeting
- April 28<sup>th</sup> – Broadband Meeting at Harker Heights City Hall
- May 3<sup>rd</sup> - Luncheon Meeting at Taiwan Dragon in Killeen with III Corps Commander Lieutenant General and Mrs. White, Mayor Segarra (Killeen) and Mayor Diaz (Copperas Cove)
- May 4<sup>th</sup> – Harker Heights City Council Workshop
- May 5<sup>th</sup> – Harker Heights High School JROTC Awards Ceremony
- May 8<sup>th</sup> – Harker Heights Farmers Market at City Hall
- May 8<sup>th</sup> – Harker Heights Chamber of Commerce Spring Fest at Carl Levin Park
- May 10<sup>th</sup> – Recorded Memorial Day video presentation at Harker Heights City Hall

**Adjournment:**

There being no further business the City of Harker Heights City Council Meeting was adjourned at 7:28 p.m.

**CITY OF HARKER HEIGHTS, TEXAS:**

\_\_\_\_\_  
Spencer H. Smith, Mayor

**ATTEST:**

\_\_\_\_\_  
Julie Helsham, City Secretary



## CITY COUNCIL MEMORANDUM

**P21-17**

**AGENDA ITEM# V-1**

**FROM: THE OFFICE OF THE CITY MANAGER**

**DATE: JULY 6, 2021**

**DISCUSS AND CONSIDER APPROVING A REQUEST FOR PRELIMINARY PLAT APPROVAL FOR THE SUBDIVISION REFERRED TO AS STONE LAKE TRAILS, ON PROPERTY DESCRIBED AS A CERTAIN TRACT OF LAND LOCATED IN THE JOHN HUGHES SURVEY, A-379, LOCATED IN BELL COUNTY, TEXAS; SUBJECT TRACT BEING ALL OF THE FOLLOWING:**

- 1. A CALLED "28.68 ACRES" CONVEYED IN A WARRANTY DEED FROM MONICA MARTIN, ET AL TO EMMONS GENERAL INVESTMENTS, LTD DATED 6-19-2018 AND RECORDED IN DOCUMENT NO. 2018-00025884 OF THE OFFICIAL PUBLIC RECORDS OF BELL COUNTY (OPRBC)**
- 2. A CALLED "53.70 ACRES" CONVEYED IN AN ASSUMPTION SPECIAL WARRANTY DEED FROM UNLIMITED EXCHANGE II, INC. TO EMMONS GENERAL INVESTMENTS, LTD DATED 2-28-2018 AND RECORDED IN DOCUMENT NO. 2018-00008312, OPRBC**
- 3. A CALLED "41.06 ACRES" CONVEYED IN A WARRANTY DEED FROM KEN EMERY, ET AL TO EMMONS GENERAL INVESTMENTS, LTD DATED 8-13-2012 AND RECORDED IN DOCUMENT NO 2012-00033701, OPRBC AND**
- 4. A CALLED "11.326 ACRES" CONVEYED IN A WARRANTY DEED FROM EMMONS CONSTRUCTION, LTD TO EMMONS GENERAL INVESTMENTS, LTD DATED 9-25-2013 AND RECORDED IN DOCUMENT NO 2013-00042514, OPRBC**

**GENERALLY LOCATED EAST OF WARRIOR'S PATH AND SOUTH OF KNIGHT'S WAY (FM 2410), HARKER HEIGHTS, BELL COUNTY, TEXAS.**

### **PROJECT DESCRIPTION:**

The applicant submitted an application for preliminary plat approval for approximately 134.832 acres of vacant land East of Warrior's Path and South of FM 2410. The proposed development will consist of 117 residential lots and 4 tracts. The parcel is currently located in the City's ETJ. The 2007 Future Land Use Map (FLUM) does not include a recommendation for this parcel. However, the FLUM designates the area use immediately to the west of this development and inside the current city limits as Single Family Residential. The proposed subdivision is not located within the Knight's Way Overlay District.

Staff reviewed the submitted preliminary plat and engineering plans and made comments to address safety, drainage, water and wastewater utilities and other pertinent requirements to ensure that all developmental regulations stipulated in the City of Harker Heights Code of Ordinances will be adhered to.

**STAFF RECOMMENDATION:**

As of June 24, 2021, some of staff's comments had not been adequately addressed. Therefore, due to the number and type of outstanding items that did not comply with the City's Code of Ordinances at that time, staff recommended to the Planning & Zoning Commission the denial of the Preliminary Plat for the subdivision referred to as Stone Lake Trails.

The applicant indicated during the June 30, 2021 Planning & Zoning meeting that they were scheduled to meet with Dog Ridge Water Supply Corporation on the morning of July 6<sup>th</sup> to resolve the outstanding water comments. At the time of publication of this memorandum, the applicant still had some outstanding comments that had not been adequately addressed. Therefore, staff recommends denial of this application in order to provide the applicant additional time to work through the outstanding items. However, staff would not be opposed to approval with conditions. The recommended conditions are:

1. Dedication of additional public right-of-way for Gnome Drive and Lago Vista Drive is not required with this platting action.
2. Provide the required sidewalks in the subdivision design.
3. Provide connectivity of the 20' off site access easement that enters into Lot 75, Block 1 to the proposed sidewalks and the U.S.A. property.
4. All comments from Clearwater Underground Water Conservation District shall be adequately addressed prior to approval of the final plat.
5. All comments from Bell County shall be adequately addressed prior to approval of the final plat.
6. All comments from Dog Ridge Water Supply Corporation shall be adequately addressed prior to approval of the final plat.
7. All comments from Bell County Public Health shall be adequately addressed prior to approval of the final plat.

**ACTION TAKEN BY THE PLANNING AND ZONING COMMISSION:**

During the Planning & Zoning Commission meeting held on June 30, 2021, the Planning and Zoning Commission voted (7-2) to approve a Preliminary Plat for the subdivision referred to as Stone Lake Trails, On Property Described As A Certain Tract Of Land Located In The John Hughes Survey, A-379, Located In Bell County, Texas; Subject Tract Being All Of The Following:

- a. A called "28.68 Acres" conveyed in a Warranty Deed from Monica Martin, et al to Emmons General Investments, Ltd dated 6-19-2018 and recorded in Document No. 2018-00025884 of the Official Public Records of Bell County (OPRBC)
- b. A called "53.70 Acres" conveyed in an Assumption Special Warranty Deed from Unlimited Exchange II, Inc. to Emmons General Investments, Ltd dated 2-28-2018 and recorded in Document No. 2018-00008312, OPRBC
- c. A called "41.06 Acres" conveyed in a Warranty Deed from Ken Emery, et al to Emmons General Investments, LTD dated 8-13-2012 and recorded in Document No. 2012-00033701, OPRBC and

d. A called "11.326 Acres" conveyed in a Warranty Deed from Emmons Construction, Ltd to Emmons General Investments, Ltd Dated 9-25-2013 and recorded in Document No 2013-00042514, OPRBC, Generally located East of Warrior's Path and South of Knight's Way (FM 2410), Harker Heights, Bell County, Texas with the following conditions:

1. The applicant shall address all outstanding staff comments such that they are in compliance prior to the City Council's meeting on July 6, 2021.

**ACTION BY THE CITY COUNCIL:**

1. Motion to **approve, approve with conditions, or disapprove with explanation** a request for Preliminary Plat for the subdivision referred to as Stone Lake Trails, On Property Described As A Certain Tract Of Land Located In The John Hughes Survey, A-379, Located In Bell County, Texas; Subject Tract Being All Of The Following:
  - a. A called "28.68 Acres" conveyed in a Warranty Deed from Monica Martin, et al to Emmons General Investments, Ltd dated 6-19-2018 and recorded in Document No. 2018-00025884 of the Official Public Records of Bell County (OPRBC)
  - b. A called "53.70 Acres" conveyed in an Assumption Special Warranty Deed from Unlimited Exchange II, Inc. to Emmons General Investments, Ltd dated 2-28-2018 and recorded in Document No. 2018-00008312, OPRBC
  - c. A called "41.06 Acres" conveyed in a Warranty Deed from Ken Emery, et al to Emmons General Investments, LTD dated 8-13-2012 and recorded in Document No. 2012-00033701, OPRBC and
  - d. A called "11.326 Acres" conveyed in a Warranty Deed from Emmons Construction, Ltd to Emmons General Investments, Ltd Dated 9-25-2013 and recorded in Document No 2013-00042514, OPRBC, Generally located East of Warrior's Path and South of Knight's Way (FM 2410), Harker Heights, Bell County, Texas.
2. Any other action desired.

**ATTACHMENTS:**

1. Application
2. Stone Lake Trails - Preliminary Plat
3. Stone Lake Trails - Preliminary Engineering Documents
4. Location Map
5. Staff Comments with Responses (Sent 06/10/21 & 06/24/21; Received 06/16/21 & 06/25/21, 06/28/21)



# Preliminary Plat Application

\* Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED \*

This application must be completed returned to the Planning Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting with Staff to ensure applicability
2. Payment of \$500.00 + \$25/per lot
3. Signed Original Field Notes and Dedication Pages
4. Paper Plan Submissions: Ten (10) Copies of the Plat and Seven (7) Copies of Preliminary Engineering Drawings
5. Electronic Submission of all documents for review delivered to Planning Administrative Assistant

City of Harker Heights  
 Planning & Development  
 305 Millers Crossing  
 Harker Heights, TX 76548  
 Phone: (254) 953-5647  
 Fax: (254) 953-5666

### Property Information:

Plat Name: Stone Lake Trails Date Submitted: 5/3/2021  
 Existing Lot Count: N/A Proposed Lot Count: 117 Proposed Units: \_\_\_\_\_ Acreage: 134.832  
 Existing Land Use: Vacant/Agriculture Proposed Land Use: Single-Family Residence

Site Address or General Location: 10465 FM 2410, Bell County Rural, Texas

Public Infrastructure Proposed with Subdivision:  Water  Wastewater  Streets (including Private)  Stormwater

### Owner Information & Authorization:

Property Owner: Emmons General Investments, LTD

Address: 5434 205 Loop, Temple, Texas

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Developer: Mike Emmons

Address: 5434 205 Loop, Temple, Texas

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Engineer/Surveyor: Belton Engineering, Inc

Address: 106 N. East Street, Belton, Texas

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

### CHECK ONE OF THE FOLLOWING:

- I will represent the application myself.
- I hereby designate BELTON ENGINEERING (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application.

The property owner and/or their authorized representative must be present at all Planning and Zoning Commission Meetings and City Council Meetings at which their plan or plat is on the agenda for discussion or action. Failure of the developer or their authorized representative to appear during a meeting may be deemed a withdrawal of the plat or plan.

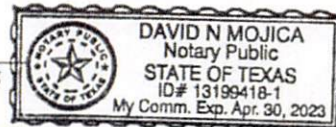
MICHAEL EMMONS

Printed Name of Owner

Signature of Owner

SWORN AND SUBSCRIBED BEFORE ME ON THIS 3rd DAY OF MAY, 20 21.

MY COMMISSION EXPIRES: 5-30-23

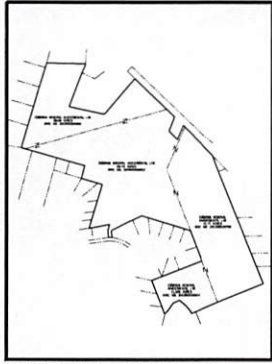


### STAFF ONLY -- DO NOT FILL OUT

Date Submitted: \_\_\_\_\_ Received By: \_\_\_\_\_ Receipt #: \_\_\_\_\_

# PRELIMINARY PLAT OF: STONE LAKE TRAILS F.M. 2410, Bell County Rural, Texas

TRACT	AREA (ac)	USAGE	OWNER
A	2.21	DETENTION HOA	
B	2.67	DETENTION HOA	
C	3.06	DETENTION HOA	
D	0.29	CHANNEL HOA	



INSET A: ORIGINAL TRACT CONFIGURATION

STATE OF TEXAS  
COUNTY OF BELL  
KNOW ALL MEN BY THESE PRESENTS:

I, BRUCE LANE BRYAN, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION AND PROPERTY DEVELOPMENT REGULATIONS OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

BRUCE LANE BRYAN  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4249  
BRYAN TECHNICAL SERVICES, INC.  
911 NORTH MAIN  
TACOMA, TX 78754

DATE: JUNE 25, 2021  
TRACT SURVEYED NOVEMBER 14, 2019  
134.852 ACRES MORE FULLY DESCRIBED BY METES & BOUNDS BY SEPARATE FIELD NOTES PREPARED AND ATTACHED TO DEDICATION INSTRUMENT



STATE OF TEXAS  
COUNTY OF BELL  
KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED ALL DRAINAGE CALCULATIONS AND DESIGNED ALL DRAINS, STREETS, ROADS AND APPURTENANCES IN ACCORDANCE WITH THE BELL COUNTY SUBDIVISION REGULATIONS.

LINA CHITAY  
LINA CHITAY, P.E. NO. 107211

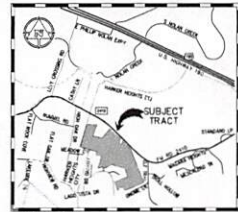


STREET NAME	LENGTH (FT)	AREA IN ROW (SF)
ACASSIZ	781.82	48302.45
CHAPALA	197.76	11766.38
QUITZEO	847.45	35469.17
MURON	247.78	17322.54
KANKAKEE	2897.03	180130.18
KOMI	171.04	13503.14
LAHONTAN	2050.83	119452.70
NIPPOSSING	987.36	73754.88
STONELAKE	1748.35	110440.87
TULANE	1227.91	72407.79
TOTAL	11157.41	698422.79

PRELIMINARY PLAT OF  
**STONE LAKE TRAILS**  
134.852 ACRES - 5,871,300.37 SF  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING:  
11,157.41 LF OF NEW STREETS AND 700,549.12 SF OF R.O.W.  
JOHN HUGHES SURVEY, ABSTRACT NO. 3792, BELL COUNTY TEXAS  
A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



ADJACENT USAGE NOTES:  
1. USAGE OF LOTS WITHIN 300 FEET OF THE PROPERTY BOUNDARY - SINGLE FAMILY RESIDENTIAL



VICINITY MAP

LEGEND	DESCRIPTION
—	IRON PIPE FOUND
—	IRON ROD FOUND
—	IRON ROD FOUND WITH CAP
—	DRAINAGE EASEMENT
—	UTILITY EASEMENT
—	BUILDING LINE
—	POINT OF BEGINNING
—	BACK TO BACK OF CURB
—	RIGHT-OF-WAY
( )	DEED CALLS

**SURVEYOR'S NOTES:**

- THE SURVEY SHOWN HEREON WAS CONDUCTED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 BY ADJUSTMENT.
- THE PROPERTY DESCRIBED HEREON IS WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE FLOOD HAZARD MAPS LOCATED IN FEMA PANEL NO. 14012C002E, EFFECTIVE DATE SEPTEMBER 29, 2008, LOCATED IN ZONE "X" (DAMPENED) OF THE PROPERTY IS LOCATED IN ZONE "X" (DAMPENED) OF THE SAME PANEL.
- THERE ARE NO ENCUMBRANCES, COMPLETE OR INCOMPLETE, EXCEPT AS SHOWN HEREON, AND NO PROPERTY HAS ACCESS TO AND FROM A DEDICATED HIGHWAY.
- ALL SET BACKS HAVE DRAINAGE PLASTIC CAPS PLACED WITHIN EACH SERVICE.
- THERE IS A METES AND BOUNDS DESCRIPTION WHICH ACCOMPANIES THIS SURVEY.
- CURRENT ZONING IS SINGLE FAMILY.
- RIGHT-OF-WAY EASEMENTS FOR WASTEWATER TREATMENT OR IMPROVED DRAINAGE SHALL BE CONSIDERED BY THE LANDOWNER. THERE IS NO DRAINAGE EASEMENT FOR CONSTRUCTION IMPROVEMENTS OR SANITARIAN.
- UNDER RESPONSIBILITY IN APPROVING THIS PLAT THE COUNTY ENGINEER OF BELL COUNTY SHALL BE RESPONSIBLE FOR THE RECORDING OF ALL METES, BOUNDS, AND OTHER PUBLIC INFORMATION AND ANY ERRORS OR OMISSIONS NECESSARY TO BE CORRECTED OR PLACED IN THE RESPONSIBILITY OF THE OWNER OF THE TRACT OF THE LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLAT AND COUNTY OF BELL COUNTY TEXAS. SAID COUNTY ENGINEER'S RESPONSIBILITY IS LIMITED TO THE INSPECTION OF THE PLAT AND THE RECORDING OF THE PLAT AND THE RECORDING OF THE PLAT AND THE RECORDING OF THE PLAT.
- THE SUBDIVISION WILL BE SERVED BY ON SITE SEWER FACILITIES. THE BELL COUNTY HEALTH DEPARTMENT MUST APPROVE ANY ON SITE SEWER FACILITIES PRIOR TO CONSTRUCTION.
- ALL SET BACKS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LEVLS.
- THE OWNER SHALL BE RESPONSIBLE FOR THE COUNTY TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS RELATED TO THE ENVIRONMENT, INCLUDING THE GOVERNMENT SPECIES ACT, STATE ADJUTANT REGULATIONS, AND MUNICIPAL ORDINANCES.
- ALL SET BACKS TO BE AS FOLLOWS: FRONT, SIDE AND BACK SET BACKS: OWNER'S NOTE: THESE ARE THE CURRENT SET BACKS AT THE TIME OF PLATING AND THAT SET BACKS ARE DETERMINED BY THE ADOPTED ZONING DISTRICT AS MANDATED BY THE CITY COUNCIL.

BLOCK NO.	# OF LOTS
1	7
2	89
3	21
TOTAL 117	

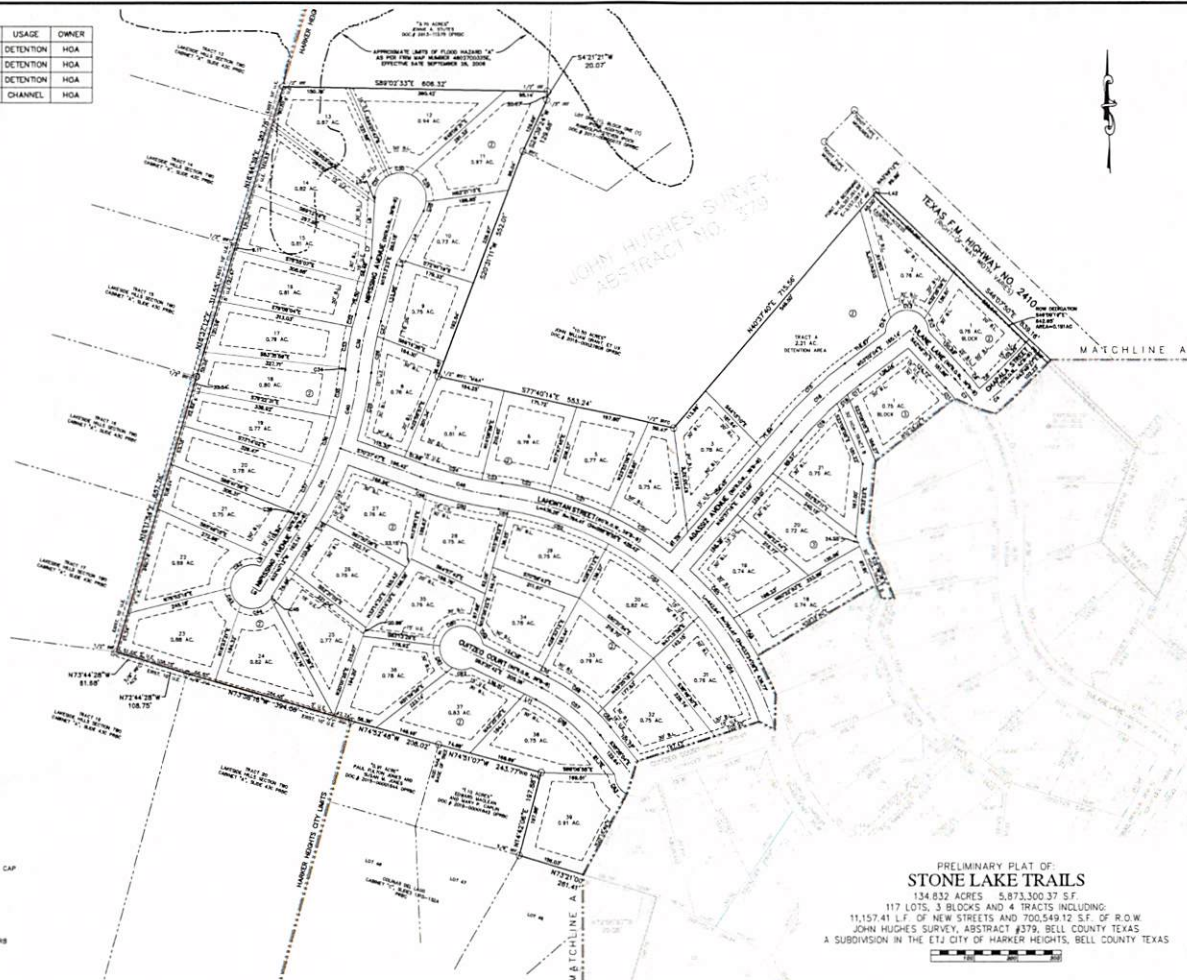
PRELIMINARY PLAT  
(SHEET 1 OF 5)



NO.	DATE	REVISION	BY
1	06/25/21	INITIAL DRAINAGE BLOCK	MB
2	06/25/21	NOTES AMENDED DR. L.L.	MB

DRAWN BY: MB  
CHECKED BY: MB  
SCALE: 1" = 200'  
PROJECT FILE: 1905-19  
DATE: JUNE 25, 2021

TRACT	AREA (ac)	USAGE	OWNER
A	2.21	DETENTION	HDA
B	2.67	DETENTION	HDA
C	3.06	DETENTION	HDA
D	0.29	CHANNEL	HDA



**LEGEND**

- IRP IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRFC IRON ROD FOUND WITH CAP
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT
- B.L. BUILDING LINE
- P.G.B. POINT OF BEGINNING
- B-B BACK TO BACK OF CURB
- R.O.W. RIGHT-OF-WAY
- ( ) DEED CALLS

**SURVEY NOTES**

1. THE BEARING SHOWN HEREON ARE OBTAINED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, AND AS BY ADJUSTMENT.
2. THE PROPERTY DESCRIBED HEREON IS WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA BEING SHOWN ON F.E.M.A. PANEL NO. 480220100E, EFFECTIVE DATE SEPTEMBER 26, 2008, LOCATED IN ZONE "A". THE REMAINDER OF THE PROPERTY IS LOCATED IN ZONE "X" (UNSHOWN) OF THE SAME PANEL.
3. THERE ARE NO ENCROACHMENTS, COMPLETE OR INCOMPLETE, EXCEPT AS SHOWN HEREON, AND SAID PROPERTY HAS ACCESS TO AND FROM A DESIGNATED HIGHWAY.
4. ALL SET BACKS SHALL BE MARKED WITH PLASTIC CAPS STAMPED "BRYAN TECH SERVICES".
5. THERE IS A METES AND BOUNDS DESCRIPTION WHICH ACCOMPANIES THIS SURVEY.
6. CURRENT ZONING IS: SINGLE FAMILY.
7. RIGHT-OF-WAY EASEMENTS FOR WALKING, BICYCLING OR IMPROVED DRAINAGE SHALL BE MAINTAINED BY THE LANDOWNER. UTILITIES AND EASEMENTS ARE ACTUALLY CONVEYED TO THE COUNTY AND THE CITY OF BELLEVILLE, MISSOURI BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE COUNTY ENGINEER OF BELLEVILLE, MISSOURI. THE COUNTY ENGINEER HAS REVIEWED THIS PLAT AND HAS ISSUED A SUBDIVISION EASEMENT FOR CONSTRUCTION IMPROVEMENT OR MAINTENANCE.
8. OWNED RESPONSIBILITY IN APPROVING THIS PLAT BY THE COUNTY ENGINEER OF BELLEVILLE, MISSOURI, IS UNDERSTOOD THAT THE BUILDING OF ALL STREETS, ROADS AND OTHER PUBLIC INFRASTRUCTURE AND ANY IMPROVEMENTS NECESSARY TO BE COMPLETED OR PLACED IS THE RESPONSIBILITY OF THE OWNER OF THE TRACT OF THE LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE COUNTY ENGINEER OF BELLEVILLE, MISSOURI. THE COUNTY ENGINEER HAS REVIEWED THIS PLAT AND HAS ISSUED A SUBDIVISION EASEMENT FOR CONSTRUCTION IMPROVEMENT OR MAINTENANCE.
9. THIS SUBDIVISION WILL BE SERVED BY ON SITE SANITATION SYSTEMS OR OTHER PUBLIC SANITATION SYSTEMS. THE COUNTY ENGINEER HAS REVIEWED THIS PLAT AND HAS ISSUED A SUBDIVISION EASEMENT FOR CONSTRUCTION IMPROVEMENT OR MAINTENANCE.
10. ALL PUBLIC ROADSWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS.
11. THE OWNER SHALL BE RESPONSIBLE, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS RELATED TO THE DEVELOPMENT, INCLUDING THE ENDANGERED SPECIES ACT, STATE WATER REGULATIONS, AND MUNICIPAL WATERBODY ORDINANCES.
12. ALL SETBACKS TO BE AS FOLLOWS: 10' FRONT, 10' SIDE AND 10' BACK UNLESS OTHERWISE NOTED. NOTE THESE ARE THE CURRENT SETBACKS AT THE TIME OF PLATING AND THAT SETBACKS ARE SUBJECT TO THE APPLICABLE ZONING DISTRICT AS DETERMINED BY THE CITY COUNCIL.

BLOCK NO.	# OF LOTS
1	7
2	89
3	21
TOTAL 117	

PRELIMINARY PLAT  
(SHEET 2 OF 5)



BRYAN TECHNICAL SERVICES, INC.



PRELIMINARY PLAT OF:  
**STONE LAKE TRAILS**  
134.832 ACRES 5,873,300.37 S.F.  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING:  
11,157.41 L.F. OF NEW STREETS AND 700,849.12 S.F. OF R.O.W.  
JOHN HUGHES SURVEY, ABSTRACT #379, BELL COUNTY TEXAS  
A SUBDIVISION IN THE E.T.J. CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS

DATE: JUNE 20, 2021



TRACT	AREA (ac)	USAGE	OWNER
A	2.21	DETECTION	HDA
B	2.67	DETECTION	HDA
C	3.08	DETECTION	HDA
D	0.29	CHANNEL	HDA

**SURVEYOR'S NOTES:**

1. THE BOUNDARIES SHOWN HEREON ARE ORIENTED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, AND G.S. ADJUSTMENT.
2. THE PROPERTY DEPICTED HEREON IS WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA WERE DETERMINED ON F.P.A. FILE NO. 480233253E, EFFECTIVE DATE SEPTEMBER 28, 2008. LOCATED IN ZONE "A", THE REMAINDER OF THE PROPERTY IS LOCATED IN ZONE "V" (UNSHADED) OF THE SAME PANEL.
3. THERE ARE NO ENCROACHMENTS, COMPLETS OR INDEMNITIES, EXCEPT AS SHOWN HEREON, AND SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED HIGHWAY.
4. ALL SET BACK ROADS HAVE ORANGE PLASTIC CAPS STAMPED "MAYN TECH SERVICE".
5. THERE IS A METES AND BOUNDS DESCRIPTION WHICH ACCOMPANIES THIS SURVEY.
6. CURRENT ZONING IS R-1 SINGLE FAMILY.
7. RIGHT-OF-WAY EASEMENTS FOR MOBILE HOMEWAYS OR IMPROVING DRAINAGE SHALL BE MAINTAINED BY THE LANDOWNER UNTIL MOBILE HOMEWAYS OR IMPROVING DRAINAGE IS ACTUALLY CONSTRUCTED ON THE PROPERTY. THE COUNTY HAS THE RIGHT AT ANY TIME TO TAKE POSSESSION OF ANY ROAD WHEATHER EQUIPMENT FOR CONSTRUCTION, IMPROVEMENT OR MAINTENANCE.
8. OWNER RESPONSIBILITY IN APPROVING THIS PLAN BY THE COMMISSIONERS COURT OF BELL COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC IMPROVEMENTS AND ANY BRIDGES OR CONCRETE NECESSARY TO BE CONSTRUCTED OR PLACED IN THE NEIGHBORHOOD OF THE REMAINDER OF THE TRACT OF THE SAME COVERED BY THIS PLAN IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE COMMISSIONERS COURT OF BELL COUNTY, TEXAS. SAID COMMISSIONERS COURT AGREES BY THIS ORDER TO WAIVE ANY OF CONSTRUCTION AND OF THE PROVISIONS OF THE DRAINAGE IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME RESPONSIBILITY FOR THE DRAINAGE IMPROVEMENTS IN CONNECTION WITH THE ROAD SYSTEM AND STREETS IN THE SUBDIVISION, OTHER THAN THOSE DRAINAGE OR PROTECTING THE ROAD SYSTEM AND STREETS. THE COUNTY ASSUMES THE RESPONSIBILITY FOR THE ADEQUACY OF THE REAL FLOOD PLAN DATA IN PARTICULAR, ANY CHANGE THEREIN OR SUBSEQUENT DEVELOPMENT.
9. THIS SURVEYOR WILL BE SERVED BY ON SITE SERVICES PROVIDED BY THE BELL COUNTY HEALTH DEPARTMENT MUST APPROVE ANY ON SITE SEWAGE FACILITY INSTALLATION PRIOR TO CONSTRUCTION.
10. ALL PUBLIC ROADSWAYS AND EASEMENTS AS SHOWN ON THIS PLAN ARE FREE OF LIENS.
11. THE OWNER SHALL BE RESPONSIBLE TO MEET THE COUNTY TO ASSURE COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS RELATING TO THE ENVIRONMENT, INCLUDING THE ENHANCED DEVICES ACT, STATE DRAINAGE REGULATIONS, AND MUNICIPAL REGULATORY ORDINANCES.
12. ALL SETBACKS TO BE AS FOLLOWS: 50' FRONT, 25' SIDE AND 35' BACK UNLESS OTHERWISE NOTED. NOTE THERE ARE THE CURRENT SETBACKS AT THE TIME OF PLATING AND THAT SETBACKS ARE DETERMINED BY THE ADJUTED ZONING DISTRICT AS NOTED BY THE CITY CLERK'S OFFICE.

BLOCK NO.	# OF LOTS
1	7
2	89
3	21
TOTAL 117	

PRELIMINARY PLAT  
(SHEET 3 OF 5)



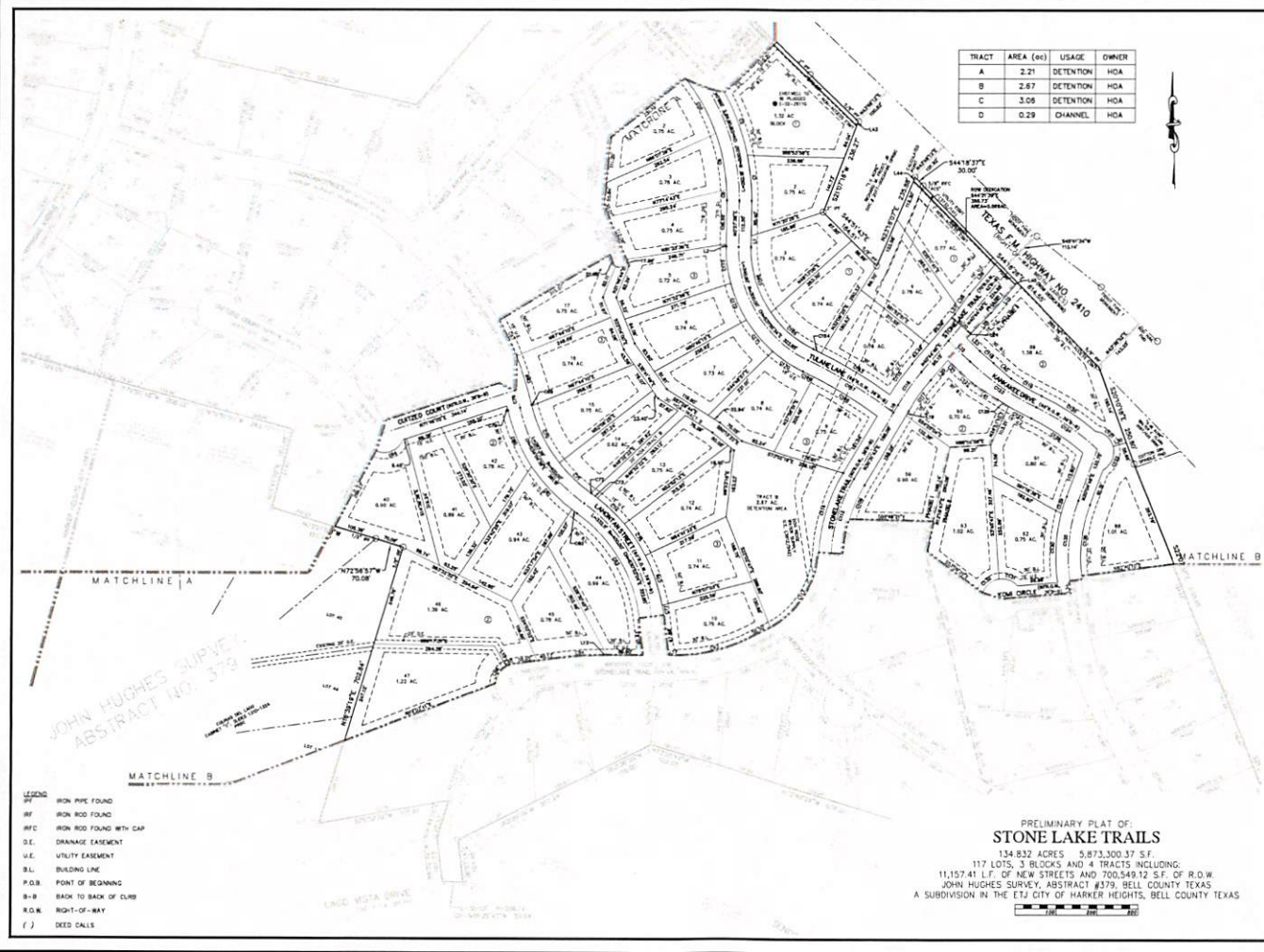
BRYAN TECHNICAL SERVICES, INC.



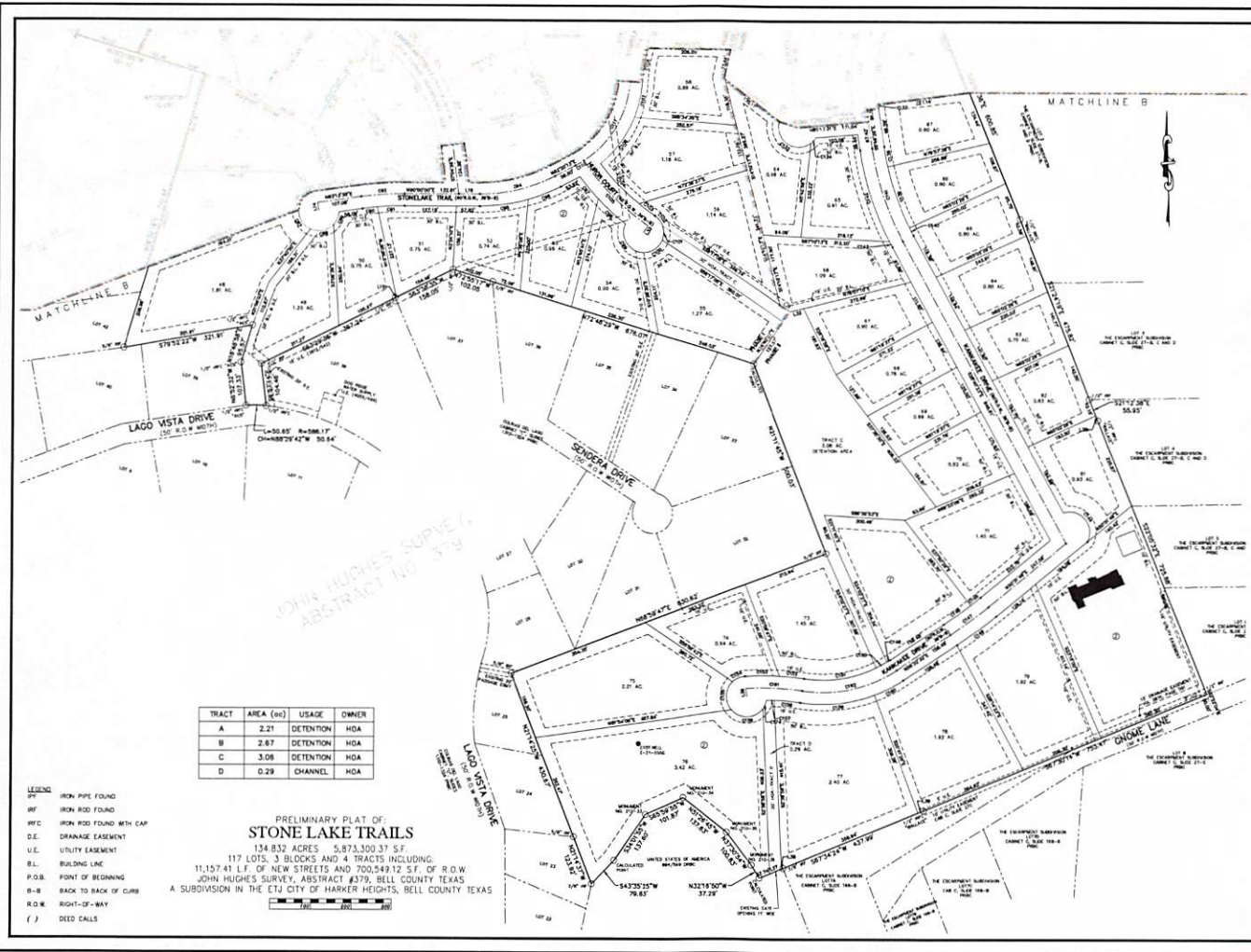
PRELIMINARY PLAT OF:  
**STONE LAKE TRAILS**  
134.832 ACRES 5,873,300.37 S.F.  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING  
11,157.41 S.F. OF NEW STREETS AND 709,349.12 S.F. OF R.O.W  
JOHN HUGHES SURVEY, ABSTRACT #379, BELL COUNTY TEXAS  
A SUBDIVISION IN THE ETJ CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS

SCALE: 1" = 100'  
PROJECT FILE: 1608-PP DATE: JUNE 25, 2021

- LEGEND**
- RF IRON PIPE FOUND
  - RFC IRON ROD FOUND
  - RFIC IRON ROD FOUND WITH CAP
  - D.E. DRAINAGE EASEMENT
  - U.E. UTILITY EASEMENT
  - B.L. BUILDING LINE
  - P.O.B. POINT OF BEGINNING
  - B-B BACK TO BACK OF CURB
  - R.O.W. RIGHT-OF-WAY
  - DEED CALLS



JOHN HUGHES SURVEY,  
ABSTRACT NO. 379



**SURVEYOR'S NOTES:**

1. THE BEARING FROM HEREIN ARE DERIVED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, ZONAL ZONE 14N 83.23 ADJUSTMENT.
2. THE PROPERTY DEPICTED HEREIN IS WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD HAZARD ZONE IDENTIFIED ON FEMA PANEL NO. 48022C002E, EFFECTIVE DATE SEPTEMBER 28, 2006, LOCATED IN ZONE "A". THE REARWARDS OF THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED) OF THE SAME PANEL.
3. THERE ARE NO ENCROACHMENTS, COMPLECTS OR PROVISIONS, EXCEPT AS SHOWN HEREIN, AND SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED HIGHWAY.
4. ALL SET BACK ROADS HAVE ORANGE PLASTIC CAPS STAMPED "TRITAN TECH SERVICES".
5. THERE IS A METE AND BOUND DESCRIPTION WHICH ACCOMPANIES THIS SURVEY.
6. CURRENT ZONING R-1 SINGLE FAMILY.
7. RIGHT-OF-WAY EASEMENTS FOR WORKING ROADWAYS OR IMPROVED DRAINAGE SHALL BE MAINTAINED BY THE LANDOWNER UNTIL SUCH AS DRAINAGE IMPROVEMENTS ARE ACTUALLY CONSTRUCTED BY THIS PLAT. IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PROVIDED BY THE COMMISSIONERS COURT OF BELL COUNTY, TEXAS, SAID COMMISSIONERS COURT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE STREETS, ROADS OR OTHER PUBLIC IMPROVEMENTS SHOWN ON THIS PLAT OR OF CONSTRUCTING ANY OF THE BRIDGES OR DRAINAGE IMPROVEMENTS TO BE CONSTRUCTED THEREON. OTHER THAN THOSE DRAWING OR PROTECTING THE ROAD SYSTEM AND STREETS, THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION OR OTHER MATTER IN THIS PLAT. FLOOD PLAIN DATA IN PARTICULAR IS BASED ON SURVEILLANCE DATA.
8. THIS SURVEYOR WILL BE SERVED BY ON-SITE SEWAGE FACILITIES THE BELL COUNTY HEALTH DEPARTMENT MUST APPROVE ANY ON-SITE SEWAGE FACILITY INSTALLATION PRIOR TO CONSTRUCTION.
9. ALL PUBLIC ROADWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS.
10. THE OWNER SHALL BE RESPONSIBLE WITH THE COUNTY TO ASSURE COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS RELATING TO THE DEVELOPMENT, INCLUDING THE ENHANCED SPECIES ACT, STATE ADULTS REGULATIONS, AND MUNICIPAL REGULATIONS.
11. ALL RETRADES TO BE AS FOLLOWS: 10' FRONT, 10' SIDE AND 10' BACK UNLESS OTHERWISE NOTED. NOTE THESE ARE THE CURRENT DETRADES AT THE TIME OF PLATING AND THAT RETRADES ARE DETERMINED BY THE ADOPTED ZONING DISTRICT AS APPROVED BY THE CITY COUNCIL.

BLOCK NO.	# OF LOTS
1	7
2	89
3	21
TOTAL 117	

**PRELIMINARY PLAT**  
(SHEET 4 OF 5)



TRACT	AREA (AC)	USAGE	OWNER
A	2.21	DETENTION	HDA
B	2.67	DETENTION	HDA
C	3.08	DETENTION	HDA
D	0.29	CHANNEL	HDA

**PRELIMINARY PLAT OF**  
**STONE LAKE TRAILS**  
134.832 ACRES, 5,873,300.37 S.F.  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING:  
11,157.41 L.F. OF NEW STREETS AND 700,549.12 S.F. OF R.O.W.  
JOHN HUGHES SURVEY, ABSTRACT #379, BELL COUNTY TEXAS  
A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS

- LEGEND**
- IPF IRON PIPE FOUND
  - IRF IRON ROD FOUND
  - RFC IRON ROD FOUND WITH CAP
  - D.E. DRAINAGE EASEMENT
  - U.E. UTILITY EASEMENT
  - B.L. BUILDING LINE
  - P.O.B. POINT OF BEGINNING
  - B-B BACK TO BACK OF CURB
  - R.O.W. RIGHT-OF-WAY
  - ( ) DEED CALLS

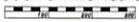


Table with multiple columns: Curve Table, Line Table, Line Table, and SURVEY NOTES. Includes curve data (Curve #, Length, Radius, Chord), line data (Line #, Direction, Length), and various notes regarding property surveys, easements, and legal descriptions.

STATE OF TEXAS
COUNTY OF BELL
EMMONS GENERAL INVESTMENTS, L.P. A TEXAS LIMITED COMPANY WHOSE ADDRESS IS 3500 LOOP 1030, TEXAS 76002...

STATE OF TEXAS
COUNTY OF BELL
BEFORE ME, THIS UNDERGOING AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, IT HAS BEEN ACKNOWLEDGED TO ME THAT HE/HAVE EXECUTED THE FOREGOING INSTRUMENT AS THE OWNER OF THE PROPERTY DESCRIBED HEREIN.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE CITY SECRETARY.

Table with multiple columns: Curve Table, Line Table, Line Table, and SURVEY NOTES. Includes curve data (Curve #, Length, Radius, Chord), line data (Line #, Direction, Length), and various notes regarding property surveys, easements, and legal descriptions.

STATE OF TEXAS
COUNTY OF BELL
EMMONS GENERAL INVESTMENTS, L.P. A TEXAS LIMITED COMPANY WHOSE ADDRESS IS 3500 LOOP 1030, TEXAS 76002...

STATE OF TEXAS
COUNTY OF BELL
BEFORE ME, THIS UNDERGOING AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN BY ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, IT HAS BEEN ACKNOWLEDGED TO ME THAT HE/HAVE EXECUTED THE FOREGOING INSTRUMENT AS THE OWNER OF THE PROPERTY DESCRIBED HEREIN.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF HARKER HEIGHTS, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE DIRECTOR OF PLANNING AND DEVELOPMENT OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE CITY SECRETARY.

STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE CITY SECRETARY.

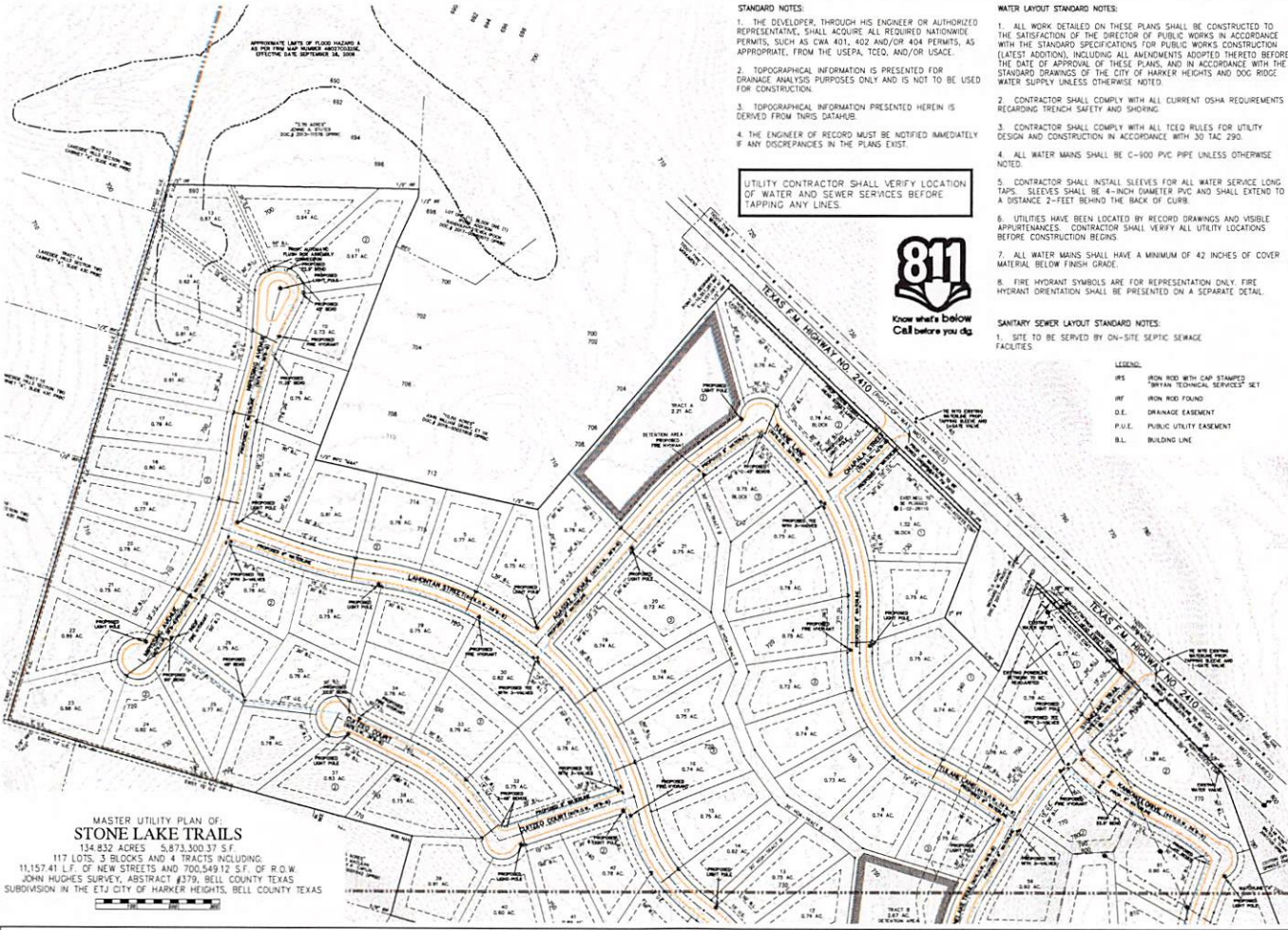
STATE OF TEXAS
COUNTY OF BELL
APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021 BY THE CITY SECRETARY.

Table with columns: BLOCK NO., # OF LOTS. Row 1: 1, 79. Row 2: 2, 89. Row 3: 3, 21. Total: 117.

PRELIMINARY PLAT
(SHEET 5 OF 5)



PRELIMINARY PLAT OF:
STONE LAKE TRAILS
134.832 ACRES ±, 5,873,300.37 S.F.
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING:
11,157.41 L.F. OF NEW STREETS AND 700,549.12 S.F. OF R.O.W
JOHN HUGHES SURVEY, ABSTRACT #379, BELL COUNTY TEXAS
A SUBDIVISION IN THE ETJ CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



APPROXIMATE LIMITS OF FLOOD HAZARD AS SHOWN FROM FIRM NUMBER 15002-0100A DATED SEPTEMBER 18, 2008

- STANDARD NOTES:**
1. THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, TCEQ, AND/OR USACE.
  2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
  3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM TNRIS DATABUS.
  4. THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST.

UTILITY CONTRACTOR SHALL VERIFY LOCATION OF WATER AND SEWER SERVICES BEFORE TAPPING ANY LINES.



- WATER LAYOUT STANDARD NOTES:**
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), INCLUDING ALL AMENDMENTS ADOPTED THERETO BEFORE THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS AND DOG RIDGE WATER SUPPLY UNLESS OTHERWISE NOTED.
  2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHIELDING.
  3. CONTRACTOR SHALL COMPLY WITH ALL TCEQ RULES FOR UTILITY DESIGN AND CONSTRUCTION IN ACCORDANCE WITH 30 TAC 290.
  4. ALL WATER MAINS SHALL BE C-900 PVC PIPE UNLESS OTHERWISE NOTED.
  5. CONTRACTOR SHALL INSTALL SLEEVES FOR ALL WATER SERVICE LONG TAPS. SLEEVES SHALL BE 4-INCH DIAMETER PVC AND SHALL EXTEND TO A DISTANCE 2-FEET BEHIND THE BACK OF CURB.
  6. UTILITIES HAVE BEEN LOCATED BY RECORD DRAWINGS AND VISUAL APPURTENANCES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
  7. ALL WATER MAINS SHALL HAVE A MINIMUM OF 42 INCHES OF COVER MATERIAL BELOW FINISH GRADE.
  8. FIRE HYDRANT SYMBOLS ARE FOR REPRESENTATION ONLY. FIRE HYDRANT ORIENTATION SHALL BE PRESENTED ON A SEPARATE DETAIL.

- SANITARY SEWER LAYOUT STANDARD NOTES:**
1. SITE TO BE SERVED BY ON-SITE SEPTIC SEWAGE FACILITIES.
- LEGEND:**
- WRS IRON ROD WITH CAP STAMPED WITH TECHNICAL SERVICES SET
  - WR IRON ROD FOUND
  - D.E. DRAINAGE EASEMENT
  - P.U.E. PUBLIC UTILITY EASEMENT
  - B.L. BUILDING LINE

REVISIONS	
6/18-UT & LOOP	
6/25-UT & W.L.	
ALLEGMENT	



**BELTON ENGINEERING INC.**

1006 NO. EAST STREET  
BELTON, TEXAS 76513  
OFFICE (254)731-5600  
MOBILE (254)288-7273  
BELTONEENGINEERS.COM

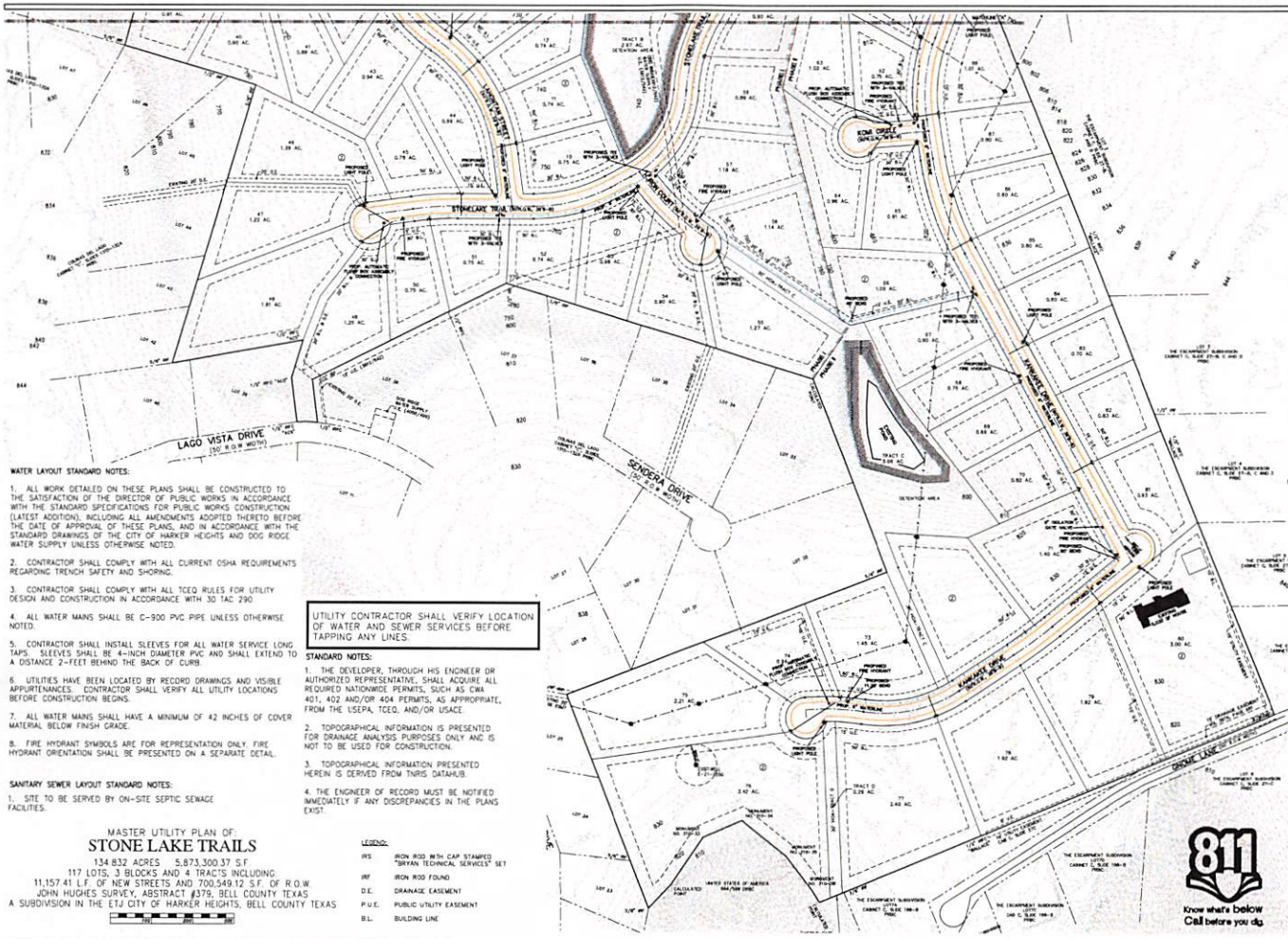
Engineering  
Design/Build  
Planning

DESIGNED BY: RUTH ANN DEAN  
**STONE LAKE TRAILS**  
117 LOTS  
114 7410  
BELL COUNTY JURAL, TEXAS  
CRAWFORD GENERAL INVESTMENTS, LTD  
114401, TEXAS, 76002



06/16/21  
SCALE: 1"=100'  
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JOB NO.: 18005  
06 OF 10  
**C2.0**

MASTER UTILITY PLAN OF:  
**STONE LAKE TRAILS**  
134.832 ACRES 5,873,300.37 S.F.  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING:  
11,157.41 L.F. OF NEW STREETS AND 700,549.72 S.F. OF R.O.W.  
JOHN HUGHES SURVEY, ABSTRACT #379, BELL COUNTY TEXAS  
A SUBDIVISION IN THE ETJ CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



- WATER LAYOUT STANDARD NOTES:**
1. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), INCLUDING ALL AMENDMENTS ADOPTED THERETO BEFORE THE DATE OF APPROVAL OF THESE PLANS, AND IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF HARKER HEIGHTS AND DGS RIDGE WATER SUPPLY UNLESS OTHERWISE NOTED.
  2. CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA REQUIREMENTS REGARDING TRENCH SAFETY AND SHORING.
  3. CONTRACTOR SHALL COMPLY WITH ALL TCEQ RULES FOR UTILITY DESIGN AND CONSTRUCTION IN ACCORDANCE WITH 30 TAC 290.
  4. ALL WATER MAINS SHALL BE C-900 PVC PIPE UNLESS OTHERWISE NOTED.
  5. CONTRACTOR SHALL INSTALL SLEEVES FOR ALL WATER SERVICE LONG TAPS. SLEEVES SHALL BE 4-INCH DIAMETER PVC AND SHALL EXTEND TO A DISTANCE 2- FEET BEHIND THE BACK OF CURB.
  6. UTILITIES HAVE BEEN LOCATED BY RECORD DRAWINGS AND VISIBLE APPURTENANCES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
  7. ALL WATER MAINS SHALL HAVE A MINIMUM OF 42 INCHES OF COVER MATERIAL BELOW FINISH GRADE.
  8. FIRE HYDRANT SYMBOLS ARE FOR REPRESENTATION ONLY. FIRE HYDRANT ORIENTATION SHALL BE PRESENTED ON A SEPARATE DETAIL.
- SANITARY SEWER LAYOUT STANDARD NOTES:**
1. SITE TO BE SERVED BY ON-SITE SEPTIC SEWAGE FACILITIES.

UTILITY CONTRACTOR SHALL VERIFY LOCATION OF WATER AND SEWER SERVICES BEFORE TAPPING ANY LINES.

- STANDARD NOTES:**
1. THE DEVELOPER, THROUGH HIS ENGINEER OR AUTHORIZED REPRESENTATIVE, SHALL ACQUIRE ALL REQUIRED NATIONWIDE PERMITS, SUCH AS CWA 401, 402 AND/OR 404 PERMITS, AS APPROPRIATE, FROM THE USEPA, TCEQ, AND/OR USACE.
  2. TOPOGRAPHICAL INFORMATION IS PRESENTED FOR DRAINAGE ANALYSIS PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
  3. TOPOGRAPHICAL INFORMATION PRESENTED HEREIN IS DERIVED FROM THIS DATABASE.
  4. THE ENGINEER OF RECORD MUST BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES IN THE PLANS EXIST.

**MASTER UTILITY PLAN OF:  
STONE LAKE TRAILS**

134.832 ACRES 5,873,300.37 S.F.  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING  
11,157.41 L.F. OF NEW STREETS AND 700,549.12 S.F. OF R.O.W.  
JOHN HUGHES SURVEY, ABSTRACT #379, BELL COUNTY TEXAS  
A SUBDIVISION IN THE ETJ CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS



- LEGEND:**
- IRS IRON ROD WITH CAP STAMPED "IRON TECHNICAL SURVEY SET"
  - IRF IRON ROD FOUND
  - D.E. DRAINAGE EASEMENT
  - P.U.E. PUBLIC UTILITY EASEMENT
  - B.L. BUILDING LINE

REVISIONS
6/16-UE & LOOP
5/25-UE & R.L.
ALCAMPNT



**BELTON ENGINEERING INC.**  
1306 N. EAST STREET  
BELTON, TEXAS 76513  
OFFICE (254) 321-3600  
MOBILE (254) 288-7273  
BELTONEENGINEERS.COM

Engineering  
Design/Build  
Planning

OWNER: JOHN HUGHES SURVEY  
STONE LAKE TRAILS  
BELL COUNTY BUREAU, TEXAS  
CAMMONS GENERAL INVESTMENTS, LTD  
TEMPLE, TEXAS 76702



06/25/21  
SCALE: 1"=100'  
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DATE: 06/25/21  
JOB NO.: 18005  
07 OF 10  
C2.1





**LEGEND**

DA  
AREA (ac)  
100yr(10)

REVISIONS




File # F-13262

**BELTON  
ENGINEERING  
INC.**

106 NO. EAST STREET  
BELTON, TEXAS 78513  
OFFICE (254)723-2800  
MOBILE (254)398-7273  
BELTONENGINEERING.COM

Engineering  
Design/Build  
Planning

MASTER PRE-DEVELOPMENT DRAINAGE PLAN OF  
LAKE TRAILS  
IN WARD  
WELL COUNTY, RURAL, TEXAS  
EMMONS GENERAL INVESTMENTS  
3434 2ND LOOP  
TOWNSHIP, TX 76782



06/16/21  
SCALE: 1"=100'  
DRAWN: RFR  
CHECKED: RFR  
DATE: 06/16/21  
JOB NO.: 15005  
08 of 10

C3.0



**LEGEND**

DA  
AREA (ac)  
100yr(cts)

REVISIONS




**BELTON  
ENGINEERING  
INC.**

108 NO. EAST STREET  
BELTON, TEXAS 78513  
OFFICE (254) 733-5600  
MOBILE (254) 289-7273  
BELTONENGINEERS.COM

Engineering  
Design/Build  
Planning

MASTER POST-DEVELOPMENT DRAINAGE PLAN OF  
STONE LAKE TRAILS  
BELL COUNTY, RURAL, TEXAS  
EMMONS GENERAL INVESTMENTS  
3434 202 LOOP  
TEMPLE, TX 76788



06/25/21  
SCALE: 1"=100'  
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ELEC DRAWING FILE  
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DATE: 06/25/21  
JOB NO.: 18005  
09 of 10

**T8.05 Top of Construction Existing**

Station	Area	Depth	Volume	Remarks
1+00	150.00	1.00	150.00	Excavation
1+25	150.00	1.00	150.00	Excavation
1+50	150.00	1.00	150.00	Excavation
1+75	150.00	1.00	150.00	Excavation
2+00	150.00	1.00	150.00	Excavation
2+25	150.00	1.00	150.00	Excavation
2+50	150.00	1.00	150.00	Excavation
2+75	150.00	1.00	150.00	Excavation
3+00	150.00	1.00	150.00	Excavation

**T8.05 Top of Construction Proposed**

Station	Area	Depth	Volume	Remarks
1+00	150.00	1.00	150.00	Excavation
1+25	150.00	1.00	150.00	Excavation
1+50	150.00	1.00	150.00	Excavation
1+75	150.00	1.00	150.00	Excavation
2+00	150.00	1.00	150.00	Excavation
2+25	150.00	1.00	150.00	Excavation
2+50	150.00	1.00	150.00	Excavation
2+75	150.00	1.00	150.00	Excavation
3+00	150.00	1.00	150.00	Excavation

**BRIDGE CALCULATIONS - EXISTING CONDITIONS**

Span	Area	L	W	H	G <sub>1</sub>	G <sub>2</sub>
100'-00"	150.00	100.00	10.00	10.00	10.00	10.00
200'-00"	300.00	200.00	20.00	20.00	20.00	20.00
300'-00"	450.00	300.00	30.00	30.00	30.00	30.00

**BRIDGE CALCULATIONS - PROPOSED CONDITIONS**

Span	Area	L	W	H	G <sub>1</sub>	G <sub>2</sub>
100'-00"	150.00	100.00	10.00	10.00	10.00	10.00
200'-00"	300.00	200.00	20.00	20.00	20.00	20.00
300'-00"	450.00	300.00	30.00	30.00	30.00	30.00

**TRACT A - INFO**

Station	Q.FINE	Q.POST	Q.CORNER	MARK ELEV	MARK ELEV
1+00	100.00	100.00	100.00	100.00	100.00
1+25	200.00	200.00	200.00	200.00	200.00
1+50	300.00	300.00	300.00	300.00	300.00
1+75	400.00	400.00	400.00	400.00	400.00
2+00	500.00	500.00	500.00	500.00	500.00
2+25	600.00	600.00	600.00	600.00	600.00
2+50	700.00	700.00	700.00	700.00	700.00
2+75	800.00	800.00	800.00	800.00	800.00
3+00	900.00	900.00	900.00	900.00	900.00

**TRACT B - INFO**

Station	Q.FINE	Q.POST	Q.CORNER	MARK ELEV	MARK ELEV
1+00	100.00	100.00	100.00	100.00	100.00
1+25	200.00	200.00	200.00	200.00	200.00
1+50	300.00	300.00	300.00	300.00	300.00
1+75	400.00	400.00	400.00	400.00	400.00
2+00	500.00	500.00	500.00	500.00	500.00
2+25	600.00	600.00	600.00	600.00	600.00
2+50	700.00	700.00	700.00	700.00	700.00
2+75	800.00	800.00	800.00	800.00	800.00
3+00	900.00	900.00	900.00	900.00	900.00

**TRACT C - INFO**

Station	Q.FINE	Q.POST	Q.CORNER	MARK ELEV	MARK ELEV
1+00	100.00	100.00	100.00	100.00	100.00
1+25	200.00	200.00	200.00	200.00	200.00
1+50	300.00	300.00	300.00	300.00	300.00
1+75	400.00	400.00	400.00	400.00	400.00
2+00	500.00	500.00	500.00	500.00	500.00
2+25	600.00	600.00	600.00	600.00	600.00
2+50	700.00	700.00	700.00	700.00	700.00
2+75	800.00	800.00	800.00	800.00	800.00
3+00	900.00	900.00	900.00	900.00	900.00

**CALCULATIONS FOR OVERLAYS**

AREA	OVER TYPE AND HYDROLOGIC CONDITION WITH CN VALUES											
	CN	CONC	CONC	CONC	CONC	CONC	CONC	CONC	CONC	CONC	CONC	CONC
081	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
082	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
083	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
084	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
085	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
TOTAL	75.28	75.28	75.28	75.28	75.28	75.28	75.28	75.28	75.28	75.28	75.28	75.28


**CALCULATIONS FOR EXISTING**

AREA	0.50-0.50-0.50-0.50				0.50-0.50		0.50-0.50	
	Area	CN	Area	CN	Area	CN	Area	
081	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
082	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
083	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
084	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
085	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
TOTAL	75.28	75.28	75.28	75.28	75.28	75.28	75.28	

**CALCULATIONS FOR PROPOSED**

AREA	0.50-0.50-0.50-0.50				0.50-0.50		0.50-0.50	
	Area	CN	Area	CN	Area	CN	Area	
081	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
082	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
083	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
084	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
085	150.00	0.50	150.00	0.50	150.00	0.50	150.00	
TOTAL	75.28	75.28	75.28	75.28	75.28	75.28	75.28	

REVISIONS



  
 BELTON ENGINEERING INC.

106 NO. EAST STREET  
 BELTON, TEXAS 78013  
 OFFICE (214) 331-5400  
 MOBILE (214) 289-7273  
 BELTONEENGINEERS.COM

Engineering  
 Design/Build  
 Planning

PREPARED BY: STONE LAKE TRAILS  
 PROJECT NO.: 18005  
 SHEET NO.: C3.1  
 DATE: 06/16/21



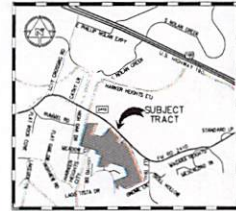
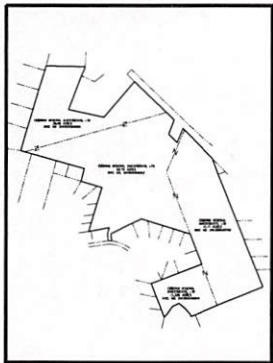
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 DATE: 06/16/21  
 JOB NO.: 18005  
 10 OF 10



# PRELIMINARY PLAT OF: STONE LAKE TRAILS

F.M. 2410, Bell County Rural, Texas

TRACT	AREA (ac)	USAGE	OWNER
A	2.21	DETENTION	HGA
B	2.67	DETENTION	HGA
C	3.06	DETENTION	HGA
D	0.29	CHANNEL	HGA



**SURVEYOR'S NOTES:**

- THE BOUNDARY SHOWN HEREON IS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE AND IS AS NEARLY AS PRACTICABLE.
- THE PROPERTY DESCRIBED HEREON IS WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE FLOOD AREA WERE IDENTIFIED ON FEMA PANEL NO. 480220002E, EFFECTIVE DATE SEPTEMBER 26, 2006, LOCATED IN ZONE "A". THE REMAINDER OF THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED) OF THE SAME PANEL.
- THERE ARE NO ENCUMBRANCES, CLAIMS OR INTERESTS, EXCEPT AS SHOWN HEREON, AND LAND PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY.
- ALL SET BACK ROADS HAVE ORANGE PLASTIC CAPS STAMPED "BRYAN TECH SERVICES".
- THERE IS A METES AND BOUNDS DESCRIPTION WHICH ACCOMPANIES THIS SURVEY.
- CONVEYOR FORMS 2-1 THREE PART.
- NOT-OF-RECORD EASEMENTS FOR WASTEWATER REMEDIATION OR IMPROVED DRAINAGE SHALL BE CONSTRUCTED OR PLACED IN THE REMEDIATION OF DRAINAGE IMPROVEMENTS ARE ACTUALLY CONSTRUCTED ON THE PROPERTY. THE COUNTY HAS THE RIGHT AT ALL TIMES TO TAKE POSSESSION OF ANY ROAD IMPROVEMENT EASEMENT FOR CONSTRUCTION, IMPROVEMENT OR MAINTENANCE.
- OWNER RESPONSIBILITY: IN APPROVING THIS PLAT BY THE COMMISSIONER OF THE STATE OF TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL STREETS, ROADS AND OTHER PUBLIC IMPROVEMENTS AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN THE REMEDIATION OF DRAINAGE IMPROVEMENTS ARE ACTUALLY CONSTRUCTED ON THE PROPERTY. THE COUNTY HAS THE RIGHT AT ALL TIMES TO TAKE POSSESSION OF ANY ROAD IMPROVEMENT EASEMENT FOR CONSTRUCTION, IMPROVEMENT OR MAINTENANCE.
- THIS SUBDIVISION WILL BE SERVED BY ON SITE SEWAGE FACILITIES. THE WELL COUNTY HEALTH DEPARTMENT MUST APPROVE ANY ON SITE SEWAGE FACILITIES BEFORE CONSTRUCTION.
- ALL PUBLIC ROADSWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS.
- THE OWNER SHALL BE RESPONSIBLE NOT THE COUNTY TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS RELATING TO THE ENVIRONMENT, INCLUDING THE ENDANGERED SPECIES ACT, STATE ADDRESS REGULATIONS, AND MUNICIPAL ORDINANCES.
- ALL SETBACKS TO BE AS FOLLOWS: 30' FRONT, 10' SIDE AND 30' BACK UNLESS OTHERWISE NOTED. NOTE THESE ARE THE CURRENT SETBACKS AT THE TIME OF PLATING AND THAT SETBACKS ARE DETERMINED BY THE ADOPTED ZONING DISTRICT AS MANDATED BY THE CITY COUNCIL.

**LEGEND**

- IRP IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRFC IRON ROD FOUND WITH CAP
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT
- B.L. BUILDING LINE
- P.O.B. POINT OF BEGINNING
- B-B BACK TO BACK OF CURB
- R.O.W. RIGHT-OF-WAY
- ( ) DEED CALLS

STREET NAME	LENGTH (FT)	AREA IN ROW(SF)
ACACISSI	781.82	46302.45
CHAPALA	197.76	11766.28
QUITZED	847.45	55469.17
MURON	247.76	17322.54
KANKAKEE	2897.03	180130.18
KOM	171.04	13503.14
LAHONTAN	2050.93	119452.70
NIPOSSING	887.36	73757.88
STONELAKE	1748.35	110440.87
TULANE	1227.91	72407.79
TOTAL	11157.41	698422.79

STATE OF TEXAS  
COUNTY OF BELL  
KNOW ALL MEN BY THESE PRESENTS:  
I, BRUCE LANE BRYAN, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERTY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION AND PROPERTY DEVELOPMENT REGULATIONS OF THE CITY OF HARKER HEIGHTS, BELL COUNTY, TEXAS.

BRUCE LANE BRYAN  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4249  
BRYAN TECHNICAL SERVICES, INC.  
911 NORTH MAIN  
TAYLOR, TX 78274  
DATE: JUNE 25, 2021  
TRACT SURVEYED NOVEMBER 14, 2019  
134.832 ACRES MORE FULLY DESCRIBED BY METES & BOUNDS BY SEPARATE FIELD NOTES PREPARED AND ATTACHED TO DEDICATION INSTRUMENT

STATE OF TEXAS  
COUNTY OF BELL  
KNOW ALL MEN BY THESE PRESENTS:  
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED ALL DRAINAGE CALCULATIONS AND DESIGNED ALL DRAINS, STREETS, ROADS AND APPURTENANCES IN ACCORDANCE WITH THE BELL COUNTY SUBDIVISION REGULATIONS.

LINA CHITRY, P.E. NO. 107211

PRELIMINARY PLAT OF:  
**STONE LAKE TRAILS**  
134.832 ACRES 5,871,300.37 SF.  
117 LOTS, 3 BLOCKS AND 4 TRACTS INCLUDING:  
11,157.41 LF OF NEW STREETS AND 700,549.12 SF OF R.O.W.  
JOHN HUGHES SURVEY, ABSTRACT 8379, BELL COUNTY TEXAS  
A SUBDIVISION IN THE CITY OF HARKER HEIGHTS, BELL COUNTY TEXAS

ADJOURNER USAGE NOTES:  
1. USAGE OF LOTS WITHIN 300 FEET OF THE PROPERTY BOUNDARY - SINGLE FAMILY RESIDENTIAL.

BLOCK NO.	# OF LOTS
1	7
2	89
3	21
TOTAL 117	

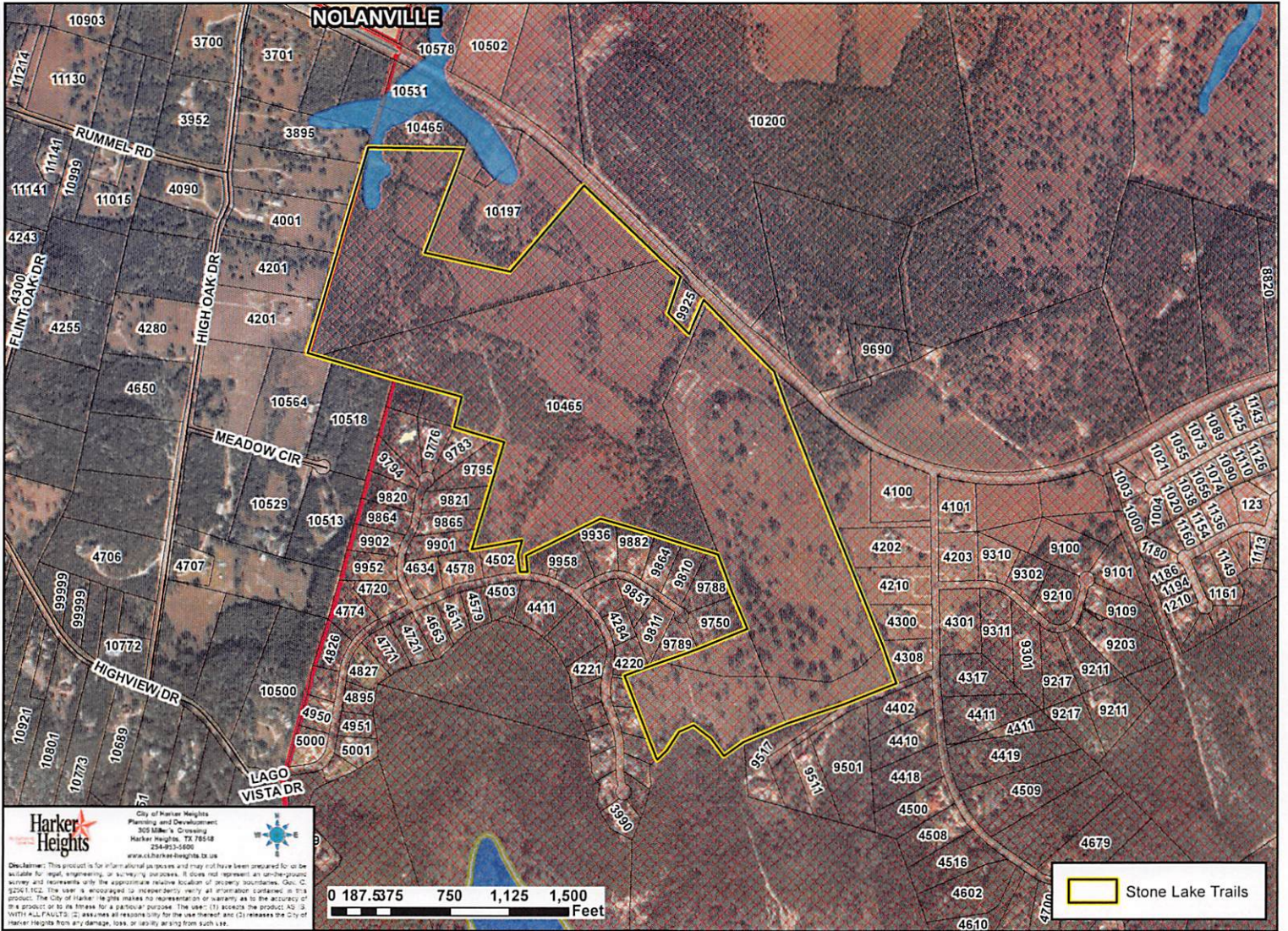
PRELIMINARY PLAT  
(SHEET 1 OF 5)

**BELTON ENGINEERING, INC.**  
Bryantech.com  
100 EAST STANLEY, SUITE 22248  
TAYLOR, TEXAS 78274  
WWW.BELTONENGINEERING.COM

**BRYAN TECHNICAL SERVICES, INC.**  
BTS  
134.832 ACRES  
FORM NO. 1012(2/00)

NO.	DATE	REVISIONS	BY
1	06/25/21	ISSUE FOR PERMITS, METES, BOUNDARY BLOCKS	MB
2	06/25/21	REVISIONS TO METES, BOUNDARY BLOCKS	MB
3	06/25/21	REVISIONS TO METES, BOUNDARY BLOCKS	MB

DRAWN BY: MB  
SCALE: 1" = 200'  
PROJECT FILE: 1908-17  
DATE: JUNE 25, 2021



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# STONE LAKE TRAILS

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## P21-17 Preliminary Plat – Stone Lake Trails

Plat Distributed to HH Staff: June 3, 2021

Comments Returned to Belton Engineering: June 10, 2021

### Planning & Development, Kristina Ramirez & Yvonne Spell

1. Applicant is advised that a concept plan submission is required prior to or with submission of a preliminary plat per §154.20(A)(2)(e).
2. Applicant shall provide a detail with typical building placements and building envelopes.
3. Applicant shall provide half of the lacking right of way to meet the 120' required width along those lots that abut FM 2410 (major arterial).
4. Per §154.37(D)(7), Applicant shall amend the subdivision layout such that the length of Kankakee Drive does not exceed the allowable culdesac length for lots less than 1 acre.
5. Per §154.37(D)(8), applicant shall rename roadways such that there is not a conflict within the 911 area and the City of Harker Heights. (Chippewa Drive already exists)
6. Applicant shall move the drainage tracts dedication from the subdivision block to after the dedication statement and before the applicant's signature.
7. Applicant shall clarify the sheet and phase linework such that they are discernable in black & white and when reproduced (different line types).
8. On page 1 of the plat dedication pages, applicant shall provide uniform annotation for all surrounding parcels (lot/block information, subdivision name, type of use for a distance of 300 ft from the plat boundary).
9. Applicant shall illustrate the adjacent offsite and onsite existing 20' drainage easement and address connectivity of said easement (Lots 49-56, Block 2, & Tract C). This point discharge shall be taken into account in the drainage analysis.
10. Applicant shall illustrate the adjacent offsite 10' public utility easement and address connectivity of said easement (Lots 77-80, Block 2).
11. On all plat dedication pages, the applicant shall identify usage and ownership for all Tracts (A, B, C & D) in a uniform manner (i.e. each have Tract name and acreage with a note for usage and ownership on the dedication page).
12. Per §154.20(B)(6) applicant shall provide an as-built for the existing property (structures, OSSF, easements). On some of the plan sheets two structures are shown to be located on Lot 80, Block 2. Clarify the intent for those existing structures.
13. Applicant shall clarify the intent for the existing well located on Lot 76, Block 2.

14. Applicant shall amend annotation such that it is clear that the entrance at Stonelake Trail is a 70-foot right-of-way for a minimum distance of 100 feet from the intersection.
15. Applicant shall provide for utility easements to the adjacent undeveloped parcels.
16. Applicant shall address how the two landlocked parcels south of Lots 36-38 of Block 2 are accessed (connectivity to public ROW).
17. Applicant shall provide for half of the right of way needed to bring the adjacent Gnome Drive into compliance (Lots 77-80 need to dedicate 5' of ROW) & need to illustrate the same for opposite side (Full ROW should be 70'), same for Lago Vista Drive.
18. Provide concurrence from TXDOT showing approval for curb cuts and drainage acceptance.
19. Applicant is advised that all drainage infrastructure shall be completed in Phase 1 of this development or waivers of liability will need to be executed and recorded.
20. Applicant shall amend lot dimensions such that all lots can be serviced by a septic system.
21. All utility easements shall have a minimum 15' width per §154.42(A)(1).
22. All drainage easements/tracts shall have a minimum 15 ft clear strip (not part of the structure or natural course) on both side of earthen ditches, streams, channels, etc. for maintenance access per §154.41(B).
23. The applicant is advised that all drainage improvements (including energy dissipation at the outfall) required for this subdivision must be within the subdivision (easement or tract) or a waiver of liability and offsite drainage easement must be obtained.

#### **Public Works, Mark Hyde**

##### **Water Layout**

1. Water line tees are required to have isolation gate valves on all three branches of the tee.
2. Add an 8-inch isolation gate valve 75' from the fire hydrant (prior to the 90-degree bend) located on Lot 71 on Kankakee Drive.
3. Loop the water mains between Nipissing Avenue and Cuitzeo Court between Lot's 24 and 25 on Nipissing Avenue and Lot's 36 and 37 on Cuitzeo Court.
4. Add a 15' public utility easement on either side of Lot's 79 and 80 between Kankakee Drive and Gnome Lane.
5. Add a 15' public utility easement within Lot 74 at the end of Kankakee Drive on the west side of the lot line between Lot's 73 and 74, extending to Lot 32 in the Colinas Del Lago subdivision. Then extending the 15' public utility easement west to the lot line between Lot's 31 and 32, Colinas Del Lago.
6. Extend the water line on the Nipissing Avenue north cul-de-sac past the curb preferably where flush water can run between lot lines. Add an automatic flush box assembly connection. Provide a 15' public drainage easement between the lot lines. See the automatic

flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly.

7. Reconfigure the lot line between Lot's 63 and 64 where the water main can be looped between Huron Court and Komi Circle. The water lines would be drawn on the east side of Huron Court and on the south side of Komi Circle. Provide a 15' public utility easement for the loop connection.
8. Add a 15' public utility easement between Lot's 13 and 14 between Nipissing Avenue and the Lakeside Hills subdivision.
9. Add an automatic flush assembly connection at the Kankakee Drive cul-de-sac. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly.
10. Add an automatic flush assembly connection at the Stone Lake Trail cul-de-sac. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly.

#### **Street Layout**

1. The subdivision entrances at Chapala Street and Stone Lake Trail shall be 42 feet wide with a 70-foot right-of-way for a minimum distance of 100 feet from the FM 2410 intersection.

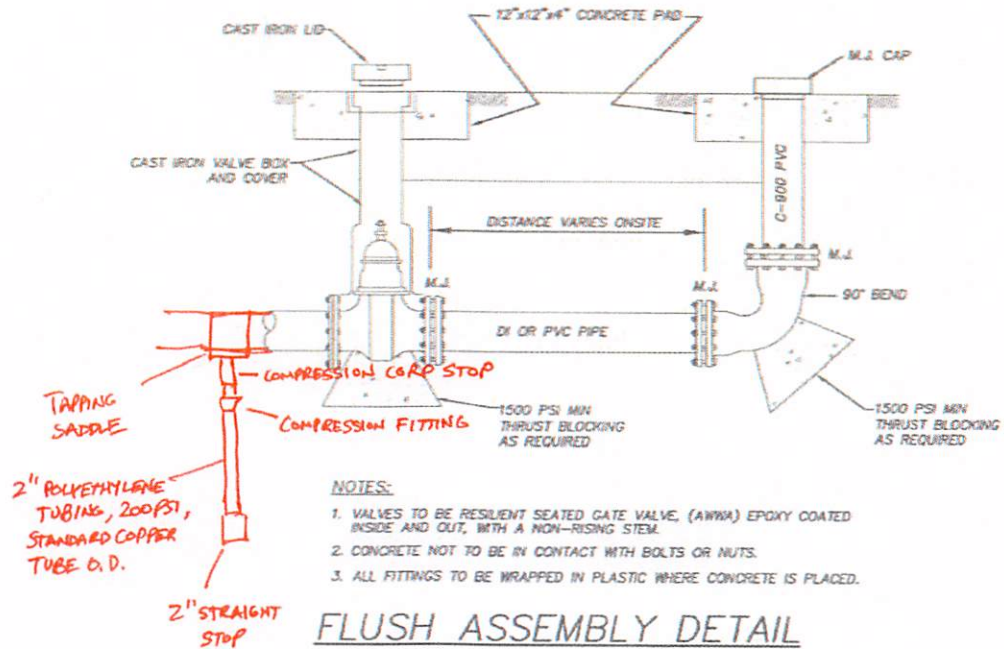
#### **Sidewalk Layout**

1. Sidewalks are required on both sides of the streets within the subdivision.

#### **Street Light Layout**

1. Add a 250 watt cobra head street light at the intersection of Chapala Street/FM 2410 and at the intersection of Stone Lake Trail/FM 2410.

EVERYTHING SHOWN IN RED WOULD BE INSTALLED HORIZONTALLY, NOT VERTICALLY AS SHOWN



Consulting Engineer, Otto Wiederhold

1. No comments at this time. When final plat and plans are submitted, I will make comments.

Fire Marshal, Brad Alley

Building Official, Mike Beard

1. No Comments.

ONCOR, Derox Spencer

Century Link, Chris McGuire

Time Warner Cable/Spectrum, Shaun Whitehead

ATMOS, Burton Jones

TXDOT, Billy Tweedle

1. TxDOT requests a one foot non-access easement to be placed along the entire frontage of FM 2410 being broken only at the shown proposed access locations.

ETJ, Bryan Neaves & Malcolm Miller

Subdivision Regulations:

1. 204.1- Location and Accuracy – Txdot approval letters for access on F.M. 2410
2. 204.5- Water System- Certification of water is required.
3. 204.2- Dedication- The dedication is required by separate instrument, as well as on the plat. Also, please include a sealed copy of the surveyor's field notes.
4. 204.6- Wastewater- Certification from the Bell County Health Department is required, as well as a copy of the site evaluation letter.
5. 204.11- Restrictions- Provide a copy of any proposed restrictions or covenants that may apply.
6. 204.16- Letter of Compliance- needs to be started on plat or on separate documentation.
7. 204.15-Acreage and length statement- Statement contained in streets and roads.
8. 304 Soil- Geotech report is required.
9. A5-Acess- HOA Trac C Will need 50' to have proper access to the detention pond.
10. Construction plans will need to be provided.

Dog Ridge WSC,

1. **Dog Ridge WSC has indicated that they will not have their first round of comments until after their board meeting on June 19, 2021.**

Bell County Public Health, Kent Stephens

1. The Preliminary Plat meets State lot size requirements for On-Site Wastewater with public water. However, there are many lots with complex slopes that may make development utilizing septic systems challenging or impossible. Block 2 Lots 24-39, 56-61 & 68-71 are some examples.
2. Also, there are several creeks as noted on the USGS map that will requires up to a 75' setback from the centerline. Final approval for On-Site Wastewater Systems WILL NOT be given until clearing, surveying and a final plat has been submitted.

If you have any questions, please call the Temple office at (254) 778.7557.

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# STONE LAKE TRAILS

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## P21-17 Preliminary Plat – Stone Lake Trails

Plat Distributed to HH Staff: June 3, 2021

Comments Returned to Belton Engineering: June 10, 2021

### Planning & Development, Kristina Ramirez & Yvonne Spell

1. Applicant is advised that a concept plan submission is required prior to or with submission of a preliminary plat per §154.20(A)(2)(e). **Noted**
2. Applicant shall provide a detail with typical building placements and building envelopes. **Building setbacks have been provided for each lot.**
3. Applicant shall provide half of the lacking right of way to meet the 120' required width along those lots that abut FM 2410 (major arterial). **ROW dedication lines added to get 120' required for FM 2410.**
4. Per §154.37(D)(7), Applicant shall amend the subdivision layout such that the length of Kankakee Drive does not exceed the allowable culdesac length for lots less than 1 acre. **See variance letter.**
5. Per §154.37(D)(8), applicant shall rename roadways such that there is not a conflict within the 911 area and the City of Harker Heights. (Chippewa Drive already exists) **Chippewa Drive changed to Lahontan Street.**
6. Applicant shall move the drainage tracts dedication from the subdivision block to after the dedication statement and before the applicant's signature. **Drainage tract dedication added after dedication statement and before applicant's signature. These drainage tracts to be owned and maintained by the Home Owners Association.**
7. Applicant shall clarify the sheet and phase linework such that they are discernable in black & white and when reproduced (different line types). **Linework for changed to add variation between phasing lines and sheet lines.**
8. On page 1 of the plat dedication pages, applicant shall provide uniform annotation for all surrounding parcels (lot/block information, subdivision name, type of use for a distance of 300 ft from the plat boundary). **Comment needs clarification.**
9. Applicant shall illustrate the adjacent offsite and onsite existing 20' drainage easement and address connectivity of said easement (Lots 49-56, Block 2, & Tract C). This point discharge shall be taken into account in the drainage analysis. **20' drainage easement as per Colinas Del Lago shown between Lot 34/35 shown on plat. All discharge for Colinas Del Lago has been**



accounted for in drainage area OS4b. There is no drainage infrastructure located within this 20' drainage easement.

10. Applicant shall illustrate the adjacent offsite 10' public utility easement and address connectivity of said easement (Lots 77-80, Block 2). 10' utility easement shown along Lots 78-80. Connectivity of said easement is addressed within the Variance letter.
11. On all plat dedication pages, the applicant shall identify usage and ownership for all Tracts (A, B, C & D) in a uniform manner (i.e. each have Tract name and acreage with a note for usage and ownership on the dedication page. On Sheet 5 on the plat, a table is given showing the tract name, acreage, ownership and usage.
12. Per §154.20(B)(6) applicant shall provide an as-built for the existing property (structures, OSSF, easements). On some of the plan sheets two structures are shown to be located on Lot 80, Block 2. Clarify the intent for those existing structures. Please see the attached as-builts for the existing structure. Septic permit and information is also included. Existing easements for this structure were added to the plat.
13. Applicant shall clarify the intent for the existing well located on Lot 76, Block 2. The proposed well is to used for landscape irrigation for Lot 76.
14. Applicant shall amend annotation such that it is clear that the entrance at Stonelake Trail is a 70-foot right-of-way for a minimum distance of 100 feet from the intersection. Annotation amended. Stone Lake Trails is a 70' ROW for a minimum distance of 100'.
15. Applicant shall provide for utility easements to the adjacent undeveloped parcels. Need clarification for this comment. Which parcels are undeveloped and in need of a utility easement.
16. Applicant shall address how the two landlocked parcels south of Lots 36-38 of Block 2 are accessed (connectivity to public ROW). Parcel 460645 is owned by Paul & Susan Jones. They also own Lot 48 (Colinas Del Lago) which has access to Arroyo Drive. Parcel 460644 is owned by Edward and Mary MacLean. They also own Lot 47 (Colinas Del Lago) which has access to Arroyo Drive. Therefore, these parcels are not landlocked.
17. Applicant shall provide for half of the right of way needed to bring the adjacent Gnome Drive into compliance (Lots 77-80 need to dedicate 5' of ROW) & need to illustrate the same for opposite side (Full ROW should be 70'), same for Lago Vista Drive. See variance letter.
18. Provide concurrence from TXDOT showing approval for curb cuts and drainage acceptance. See attached email showing TxDOT approval of curb cuts. Drainage acceptance to be closer to final plat.
19. Applicant is advised that all drainage infrastructure shall be completed in Phase 1 of this development or waivers of liability will need to be executed and recorded. Noted
20. Applicant shall amend lot dimensions such that all lots can be serviced by a septic system. See Comment #1 from Kent Stephens. "The Preliminary Plat meets state lot size requirements"

21. All utility easements shall have a minimum 15' width per §154.42(A)(1). **Utility easements revised to have 15' width.**
22. All drainage easements/tracts shall have a minimum 15 ft clear strip (not part of the structure or natural course) on both side of earthen ditches, streams, channels, etc. for maintenance access per §154.41(B). **See variance letter. To be owned and maintained by HOA.**
23. The applicant is advised that all drainage improvements (including energy dissipation at the outfall) required for this subdivision must be within the subdivision (easement or tract) or a waiver of liability and offsite drainage easement must be obtained. **Noted.**

### Public Works, Mark Hyde

#### Water Layout

1. Water line tees are required to have isolation gate valves on all three branches of the tee. **Isolation gate valves added to branches of tee.**
2. Add an 8-inch isolation gate valve 75' from the fire hydrant (prior to the 90-degree bend) located on Lot 71 on Kankakee Drive. **8" isolation gate valve added before fire hydrant.**
3. Loop the water mains between Nipissing Avenue and Cuitzeo Court between Lot's 24 and 25 on Nipissing Avenue and Lot's 36 and 37 on Cuitzeo Court. **15' utility easements added on Lots 25 and 35 shown on the final plat. The water line is looped through this segment of utility easements as seen on the utility plan.**
4. Add a 15' public utility easement on either side of Lot's 79 and 80 between Kankakee Drive and Gnome Lane. **See variance letter.**
5. Add a 15' public utility easement within Lot 74 at the end of Kankakee Drive on the west side of the lot line between Lot's 73 and 74, extending to Lot 32 in the Colinas Del Lago subdivision. Then extending the 15' public utility easement west to the lot line between Lot's 31 and 32, Colinas Del Lago. **See variance letter.**
6. Extend the water line on the Nipissing Avenue north cul-de-sac past the curb preferably where flush water can run between lot lines. Add an automatic flush box assembly connection. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly. **Flush assembly added near the lot line of 12/13 Block 2. Fire hydrant to remain for fire safety. 15' drainage easement added in between lot line.**
7. Reconfigure the lot line between Lot's 63 and 64 where the water main can be looped between Huron Court and Komi Circle. The water lines would be drawn on the east side of Huron Court and on the south side of Komi Circle. Provide a 15' public utility easement for the loop connection. **See utility plan for the proposed water loop. Water line is to run along tract C/ Lot 56 and Lot 66/67. 15' utility easements were added. Grade change between Komi and Huron is significant. More acceptable slopes are available with the proposed loop.**

8. Add a 15' public utility easement between Lot's 13 and 14 between Nipissing Avenue and the Lakeside Hills subdivision. **15' utility easement added between Lot 13/14.**
9. Add an automatic flush assembly connection at the Kankakee Drive cul-de-sac. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly. **Flush assembly added at Kankakee Drive. Runoff to run through Tract D.**
10. Add an automatic flush assembly connection at the Stone Lake Trail cul-de-sac. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly. **Flush assembly added at Stone Lake Trails. Runoff will travel down Stone Lake Trail and enter Tract B.**

#### **Street Layout**

1. The subdivision entrances at Chapala Street and Stone Lake Trail shall be 42 feet wide with a 70-foot right-of-way for a minimum distance of 100 feet from the FM 2410 intersection. **Subdivision entrances have 70 ROW and 42 BB for a minimum of 100'. Meets requirements.**

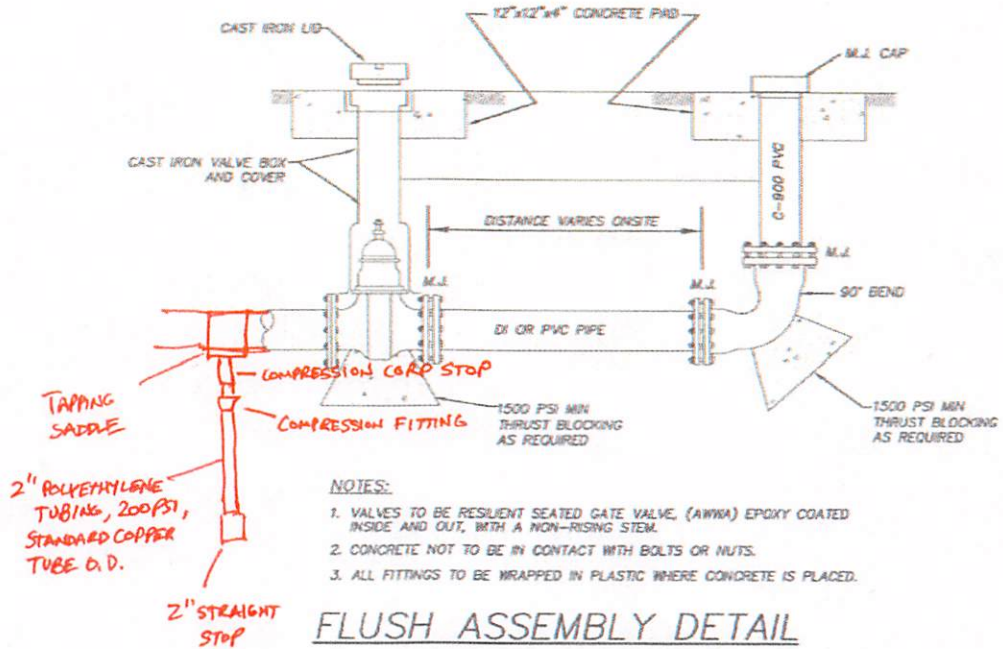
#### **Sidewalk Layout**

1. Sidewalks are required on both sides of the streets within the subdivision. **See variance letter.**

#### **Street Light Layout**

1. Add a 250 watt cobra head street light at the intersection of Chapala Street/FM 2410 and at the intersection of Stone Lake Trail/FM 2410. **Proposed street lights added at intersection of Chapala St/FM 2410 and Stone Lake Trail/FM 2410.**

EVERYTHING SHOWN IN RED WOULD BE INSTALLED HORIZONTALLY, NOT VERTICALLY AS SHOWN



**Consulting Engineer, Otto Wiederhold**

1. No comments at this time. When final plat and plans are submitted, I will make comments.

**Fire Marshal, Brad Alley**

1. No Comments.

**Building Official, Mike Beard**

1. No Comments.

**ONCOR, Derex Spencer**

**Century Link, Chris McGuire**

**Time Warner Cable/Spectrum, Shaun Whitehead**

**ATMOS, Burton Jones**

**TXDOT, Billy Tweedle**

1. TxDOT requests a one foot non-access easement to be placed along the entire frontage of FM 2410 being broken only at the shown proposed access locations. **1' non-access easement added.**

**ETJ, Bryan Neaves & Malcolm Miller**

Subdivision Regulations:

1. 204.1- Location and Accuracy – Txdot approval letters for access on F.M. 2410 **See attached TxDOT concurrence.**
2. 204.5- Water System- Certification of water is required. **Dog Ridge certification shown on plat**
3. 204.2- Dedication- The dedication is required by separate instrument, as well as on the plat. Also, please include a sealed copy of the surveyor's field notes. **Attached are signed field notes**
4. 204.6- Wastewater- Certification from the Bell County Health Department is required, as well as a copy of the site evaluation letter. **Certification for Bell County Health added and copy of the preliminary site evaluation is attached.**
5. 204.11- Restrictions- Provide a copy of any proposed restrictions or covenants that may apply. **Deed restrictions will be included with final plat submission.**
6. 204.16- Letter of Compliance- needs to be started on plat or on separate documentation. **Letter of Compliance added as Note #11 under surveyor notes.**
7. 204.15-Acreage and length statement- Statement contained in streets and roads. **Road table created to shown name of road, length and area on sheet 1 of plat.**
8. 304 Soil- Geotech report is required. **Will be included with HH final plat submission**
9. A5-Acess- HOA Trac C Will need 50' to have proper access to the detention pond. **Tract C to be owned and maintained by HOA**
10. Construction plans will need to be provided. **Will be included with HH final plat submission**

**Dog Ridge WSC,**

1. **Dog Ridge WSC has indicated that they will not have their first round of comments until after their board meeting on June 19, 2021.**

**Bell County Public Health, Kent Stephens**

1. The Preliminary Plat meets State lot size requirements for On-Site Wastewater with public water. However, there are many lots with complex slopes that may make development utilizing septic systems challenging or impossible. Block 2 Lots 24-39, 56-61 & 68-71 are some examples. **Noted**
2. Also, there are several creeks as noted on the USGS map that will requires up to a 75' setback from the centerline. Final approval for On-Site Wastewater Systems WILL NOT be given until clearing, surveying and a final plat has been submitted. **Noted**

If you have any questions, please call the Temple office at (254) 778.7557.

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# STONE LAKE TRAILS

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## P21-17 Preliminary Plat – Stone Lake Trails

Plat Distributed to HH Staff: June 3, 2021

Revised Plat Distributed to HH Staff: June 17, 2021

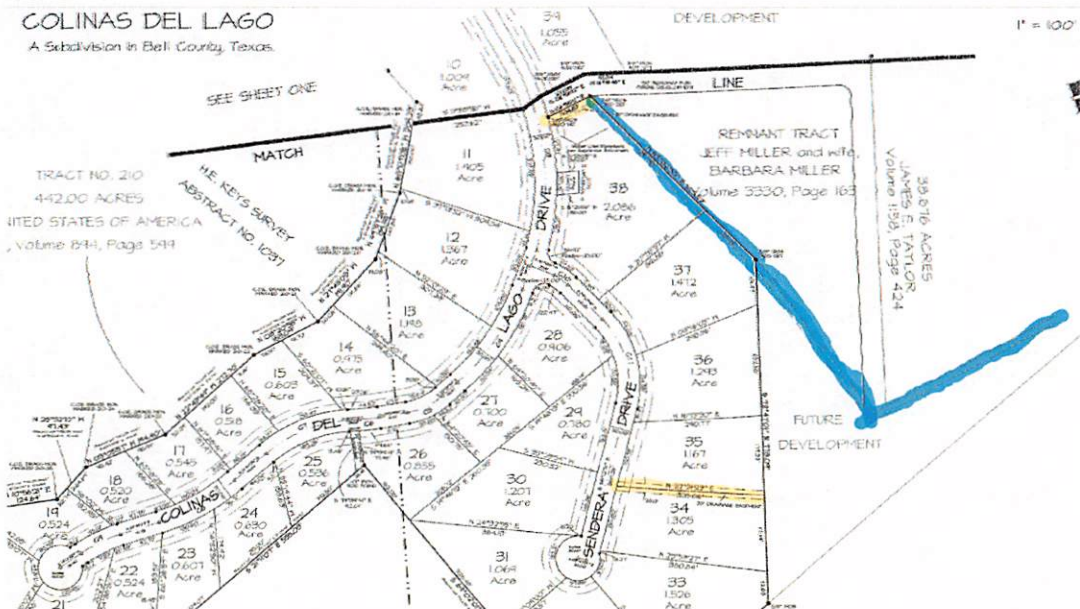
Comments Returned to Belton Engineering: June 24, 2021

### Planning & Development, Kristina Ramirez & Yvonne Spell

1. Applicant is advised that a concept plan submission is required prior to or with submission of a preliminary plat per §154.20(A)(2)(e). **6/17/21 Not Met. Applicant's response is noted. However, a Concept Plan application was not submitted with the revisions.**
2. Applicant shall provide a detail with typical building placements and building envelopes. **6/17/21 Partially Met. Applicant's response is noted. However, applicant shall amend Surveyor's note #12 such that it is clear that those are the current setbacks at the time of platting and that setbacks are determined by the adopted zoning district as mended by City Council.**
3. Applicant shall provide half of the lacking right of way to meet the 120' required width along those lots that abut FM 2410 (major arterial). **6/17/21 Partially Met. The right of way dedication being offered with this platting action must be reflected on sheet 1 or a note added to refer to Sheets 2-4 for additional detail.**
4. Per §154.37(D)(7), Applicant shall amend the subdivision layout such that the length of Kankakee Drive does not exceed the allowable culdesac length for lots less than 1 acre. **6/17/21 Partially Met. Applicant's request for a variance for the section of Kanikakee Drive between Lot 80, Block 2 and the southern terminal culdesac located near Lot 76, Block 2 meets the code requirements since the lots are all larger than 1 acre in size. Staff requests that the knuckle culdesac at Lot 80, Block 2 be altered to allow for a turning radius of 80 feet to offset the longer section of Kanikakee between Komi Circle and Lot 80, Block 2.**
5. Per §154.37(D)(8), applicant shall rename roadways such that there is not a conflict within the 911 area and the City of Harker Heights. (Chippewa Drive already exists) **6/17/21 Met.**
6. Applicant shall move the drainage tracts dedication from the subdivision block to after the dedication statement and before the applicant's signature. **6/17/21 Met.**
7. Applicant shall clarify the sheet and phase linework such that they are discernable in black & white and when reproduced (different line types). **6/17/21 Met.**
8. On page 1 of the plat dedication pages, applicant shall provide uniform annotation for all surrounding parcels (lot/block information, subdivision name, type of use for a distance of

300 ft from the plat boundary). 6/17/21 Not Met. The following clarification is provided per the applicant's request. One Sheet 1 some parcels that are adjacent to this development are labeled by lots and blocks (The Escarpment Subdivision; Lakeside Hills Subdivision), while others are only identified by the subdivision name (Colinas Del Lago). Additionally, code requires that the usage of the lots within 300 feet of the property boundary be identified. If they are all the same use then that can be added in a note on Sheet 1.

9. Applicant shall illustrate the adjacent offsite and onsite existing 20' drainage easement and address connectivity of said easement (Lots 49-56, Block 2, & Tract C). This point discharge shall be taken into account in the drainage analysis. 06/17/21 Partially Met. The applicant shall illustrate and annotate all drainage easements (yellow) that continue onto this property and ensure that the existing 15' waterline easement by separate instrument (blue highlight) is shown in the proposed subdivision. Applicant shall provide a copy of the water line easement recorded by separate instrument. Applicant shall verify if there are natural swales or low spots in the existing drainage easement and address how the flow will be conveyed from those locations to the proposed Drainage Tract C and not into a proposed home.



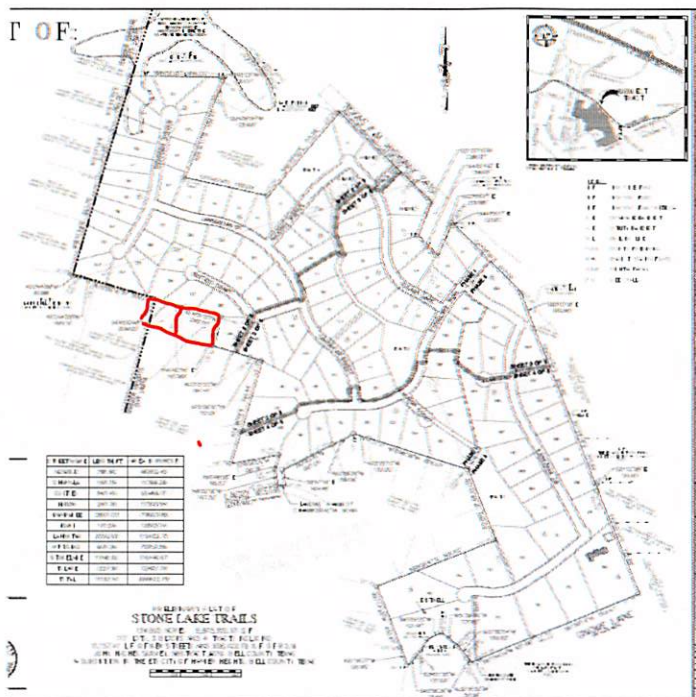
10. Applicant shall illustrate the adjacent offsite 10' public utility easement and address connectivity of said easement (Lots 77-80, Block 2). 6/17/21 Partially Met. Since a minimum 15' easement is required Applicant shall provide a 5' rear lot utility easement for the above listed lots. Additionally, see response from the Public Works Director in his comment #4.
11. On all plat dedication pages, the applicant shall identify usage and ownership for all Tracts (A, B, C & D) in a uniform manner (i.e. each have Tract name and acreage with a note for usage and ownership on the dedication page). 6/17/21 Partially Met. In order to avoid the potential

for conflicting interpretations in the future, please annotate the Tracts in the same manner on all 5 plat dedication sheets. Additionally, All tracts used for drainage purposes can have a minimum 15' right of way frontage. However, Tract D needs to be wide enough to accommodate the existing gate opening and be not less than 30' per §154.42(C)(1).

12. Per §154.20(B)(6) applicant shall provide an as-built for the existing property (structures, OSSF, easements). On some of the plan sheets two structures are shown to be located on Lot 80, Block 2. Clarify the intent for those existing structures. **06/17/21 Partially Met. Applicant shall clarify the intent for the structures on this lot (remain or demolish) and access for said lot (readdressed to Kanikakee Drive).**
13. Applicant shall clarify the intent for the existing well located on Lot 76, Block 2. **06/17/21 Partially Met. Based on the applicant's response of intending to leave the well in use for irrigation purposes, approval from Clearwater Underground Utility District will be required for the reconfigured Lot 76, Block 2 such that the required minimum clearance distance between the well and the property line, acreage size, and permit is provided.** <http://cuwcd.org/pdf/CUWCD-DistrictRules.pdf>
14. Applicant shall amend annotation such that it is clear that the entrance at Stonelake Trail is a 70-foot right-of-way for a minimum distance of 100 feet from the intersection. **6/17/21 Met.**
15. Applicant shall provide for utility easements to the adjacent undeveloped parcels. **6/17/21 Not Met. Unplatted properties are indicated below in red and adjacent easements (types include access/passage, drainage, & utility) needing connectivity are shown in green. Additionally, the dedication statement below shows an adjacent 10' UE along proposed Lots 13-25 & Lot 36, Block 2. Since a minimum 15' easement is required Applicant shall provide a 5' UE for the above listed lots. Applicant shall also illustrate and annotate all West Bell County WSC existing easements on the plat dedication sheets and provide a copy of said easement documents.**







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DEDICATION  
 LAKESIDE HILLS, SECTION TWO

STATE OF TEXAS )  
 COUNTY OF BELL )

BEFORE ME, the undersigned authority, on this \_\_\_\_\_ day of \_\_\_\_\_, 1979, personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

That EMMAR Corporation, a Texas Corporation, Owner of a tract of 100.00 acres shown on the plat accompanying this dedication, the same being part of the lands conveyed to EMMAR Corporation by deed recorded in Vol. 1480, Page 567, Deed Records of Bell County, Texas, does hereby adopt the said map or plat as its subdivision in the name of "LAKESIDE HILLS, SECTION TWO", and does so with the understanding that the owner, or owners, of any tract or tracts together with and including rights of ingress and egress and, in addition, an easement 10' in width for utilities along the side, rear and front lines of each tract shown on the appended plat and along the equivalent lines of any tract which may hereafter be created out of any of the tracts on the plat.

EXECUTED this the 1st day of April, 1979.

EMMAR CORPORATION  
 BY: *Elizabeth McCalls, Jr.*  
 Elizabeth McCalls, Jr., President

16. Applicant shall address how the two landlocked parcels south of Lots 36-38 of Block 2 are accessed (connectivity to public ROW). **6/17/21 Met.**
17. Applicant shall provide for half of the right of way needed to bring the adjacent Gnome Drive into compliance (Lots 77-80 need to dedicate 5' of ROW) & need to illustrate the same for opposite side (Full ROW should be 70'), same for Lago Vista Drive. **6/17/21 Applicant's request for a variance is noted and will be presented to P&Z and City Council.**
18. Provide concurrence from TXDOT showing approval for curb cuts and drainage acceptance. **6/17/21. Met for driveway (roadway) locations. Applicant's response is noted for drainage.**
19. Applicant is advised that all drainage infrastructure shall be completed in Phase 1 of this development or waivers of liability will need to be executed and recorded. **6/17/21 Met.**
20. Applicant shall amend lot dimensions such that all lots can be serviced by a septic system. **6/17/21 Applicant's response is noted. However, applicant is advised that per the same BCPH letter the lot size alone does not determine if a lot can be serviced by a septic system and that the required 75' setback from creeks and slopes may prohibit usage of septic on some of the proposed lots.**
21. All utility easements shall have a minimum 15' width per §154.42(A)(1). **6/17/21 Met.**
22. All drainage easements/tracts shall have a minimum 15 ft clear strip (not part of the structure or natural course) on both side of earthen ditches, streams, channels, etc. for maintenance access per §154.41(B). **6/17/21 Applicant's response is noted. Applicant is advised that, should the need arise in the future, the drainage infrastructure would need to be brought up to City standards prior to the City accepting maintenance responsibilities.**
23. The applicant is advised that all drainage improvements (including energy dissipation at the outfall) required for this subdivision must be within the subdivision (easement or tract) or a waiver of liability and offsite drainage easement must be obtained. **6/17/21 Met.**

#### **Public Works, Mark Hyde**

##### **Water Layout**

1. Water line tees are required to have isolation gate valves on all three branches of the tee.
2. Add an 8-inch isolation gate valve 75' from the fire hydrant (prior to the 90-degree bend) located on Lot 71 on Kankakee Drive.
3. Loop the water mains between Nipissing Avenue and Cuitzeo Court between Lot's 24 and 25 on Nipissing Avenue and Lot's 36 and 37 on Cuitzeo Court.
4. Add a 15' public utility easement on either side of Lot's 79 and 80 between Kankakee Drive and Gnome Lane.
5. Add a 15' public utility easement within Lot 74 at the end of Kankakee Drive on the west side of the lot line between Lot's 73 and 74, extending to Lot 32 in the Colinas Del Lago subdivision.

Then extending the 15' public utility easement west to the lot line between Lot's 31 and 32, Colinas Del Lago.

6. Extend the water line on the Nipissing Avenue north cul-de-sac past the curb preferably where flush water can run between lot lines. Add an automatic flush box assembly connection. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly.
7. Reconfigure the lot line between Lot's 63 and 64 where the water main can be looped between Huron Court and Komi Circle. The water lines would be drawn on the east side of Huron Court and on the south side of Komi Circle. Provide a 15' public utility easement for the loop connection.
8. Add a 15' public utility easement between Lot's 13 and 14 between Nipissing Avenue and the Lakeside Hills subdivision.
9. Add an automatic flush assembly connection at the Kankakee Drive cul-de-sac. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly.
10. Add an automatic flush assembly connection at the Stone Lake Trail cul-de-sac. Provide a 15' public drainage easement between the lot lines. See the automatic flush assembly drawing. You will be substituting the fire hydrant in place of the 6-inch flush assembly.

#### **6/17/2021 Water Layout**

1. **The Dog Ridge Water Supply Corporation may be absorbed by the City of Harker Heights and the City of Belton in the future. The requested utility easements are necessary for future connections and upgrades to existing water systems. Add a 15' public utility easement on either side of Lot's 79 and 80 between Kankakee Drive and Gnome Lane. Add a 15' public utility easement within Lot 74 at the end of Kankakee Drive on the west side of the lot line between Lot's 73 and 74, extending to Lot 32 in the Colinas Del Lago subdivision. Then extending the 15' public utility easement west to the lot line between Lot's 31 and 32, Colinas Del Lago.**
2. **If Komi Circle cannot be looped to a nearby water main to avoid a dead-end line, an automatic flush assembly will be required along with a 15' public drainage easement between the lot lines. You will be substituting the fire hydrant in place of the 6-inch flush assembly.**

#### **Street Layout**

1. The subdivision entrances at Chapala Street and Stone Lake Trail shall be 42 feet wide with a 70-foot right-of-way for a minimum distance of 100 feet from the FM 2410 intersection.

**Sidewalk Layout**

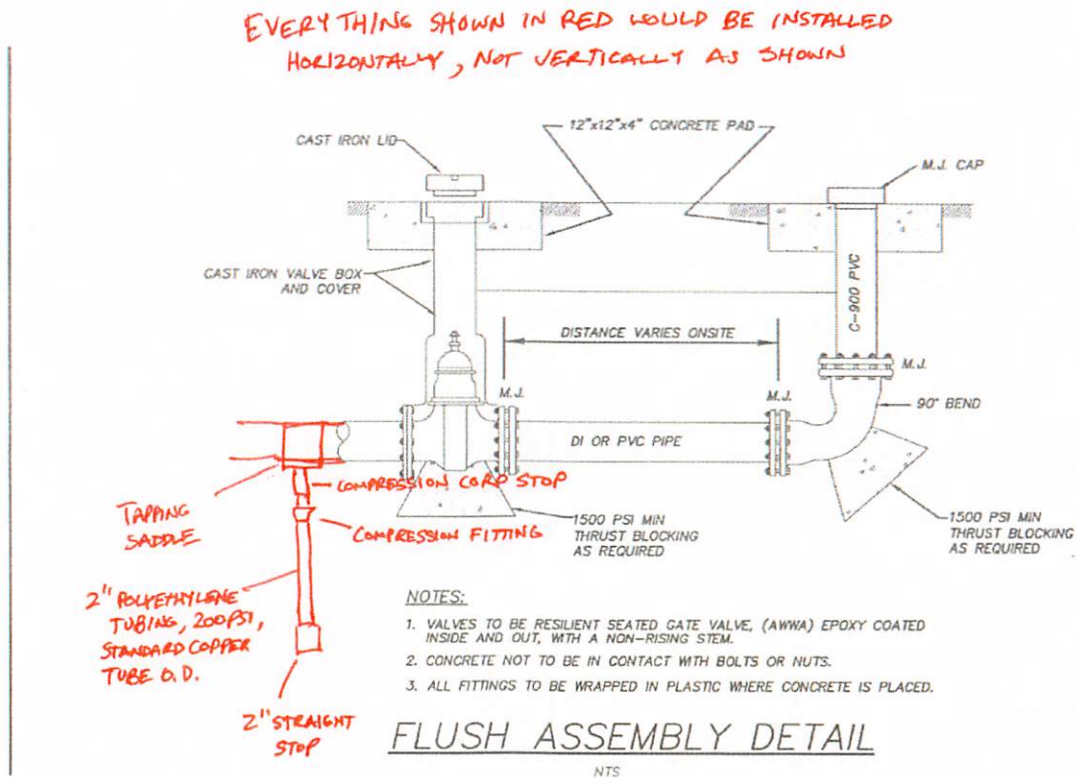
1. Sidewalks are required on both sides of the streets within the subdivision.

**6/17/2021 Sidewalk Layout**

1. The City of Harker Heights subdivision regulations apply to the Harker Heights ETJ. The topography challenges are noted. However, sidewalks are required on both sides of the streets within the subdivision.

**Street Light Layout**

1. Add a 250 watt cobra head street light at the intersection of Chapala Street/FM 2410 and at the intersection of Stone Lake Trail/FM 2410.



**Consulting Engineer, Otto Wiederhold**

1. No comments at this time. When final plat and plans are submitted, I will make comments.

**Fire Marshal, Brad Alley**

1. No Comments.

**Building Official, Mike Beard**

1. No Comments.

**ONCOR, Derex Spencer**

**Century Link, Chris McGuire**

**Time Warner Cable/Spectrum, Shaun Whitehead**

**ATMOS, Burton Jones**

**TXDOT, Billy Tweedle**

1. TxDOT requests a one foot non-access easement to be placed along the entire frontage of FM 2410 being broken only at the shown proposed access locations.

**ETJ, Bryan Neaves & Malcolm Miller**

**Subdivision Regulations:**

1. 204.1- Location and Accuracy – Txdot approval letters for access on F.M. 2410
2. 204.5- Water System- Certification of water is required.
3. 204.2- Dedication- The dedication is required by separate instrument, as well as on the plat. Also, please include a sealed copy of the surveyor's field notes.
4. 204.6- Wastewater- Certification from the Bell County Health Department is required, as well as a copy of the site evaluation letter.
5. 204.11- Restrictions- Provide a copy of any proposed restrictions or covenants that may apply.
6. 204.16- Letter of Compliance- needs to be started on plat or on separate documentation.
7. 204.15-Acreage and length statement- Statement contained in streets and roads.
8. 304 Soil- Geotech report is required.
9. A5-Acess- HOA Trac C Will need 50' to have proper access to the detention pond.
10. Construction plans will need to be provided.

**Dog Ridge WSC,**

**6/15/2021**

1. This preliminary "Master Utility Plan" does not address the fact that Dog Ridge Water Supply Corporation has a four inch water line originating at an existing Central Texas Water Meter Supply meter vault shown on Sheet C2.0 (Block 1, Lot 7) and going access the plotted

area and ending at Dog Ridge Water Supply Corporation's Colinas Del Lago pump station. This line must remain in service at all times since it is only water

2. The two locations of the proposed connection to Dog Ridge water Supply Corporations line are incorrectly shown on the south side of FM 2410. Each of the two connection will require road bores and connections to Dog Ridge WSC's water meter main located in an easement on the north side of FM 2410.
3. The street layout with seven cul-de-sacs require seven water system flushing points, reducing the number of dead-end lines will conserve water and save labor for the required monthly line flushings.
4. The Master Utility Plan as shown will result in approximately 56 PSI water pressure differential between the low elevation lots and the higher elevation lots. Pressure reducing valves may be require at select point in the main lines serving the lower elevation lots. An engineering analysis may be necessary to determine the pressure at the higher elevation lots and to determine if a pressure booster facility might be required to achieve pressures above the required minimum.
5. The water line serving the fire hydrant in the cul-de-sac in block 2, lot 10, 11, 12, 13, 14 should not angle across the paved street.
6. The street R.O.W. width at the Gated Entrance is insufficient to allow the waterline to remain on the R.O.W., without being under the paved street.

#### **Bell County Public Health, Kent Stephens**

1. The Preliminary Plat meets State lot size requirements for On-Site Wastewater with public water. However, there are many lots with complex slopes that may make development utilizing septic systems challenging or impossible. Block 2 Lots 24-39, 56-61 & 68-71 are some examples.
2. Also, there are several creeks as noted on the USGS map that will requires up to a 75' setback from the centerline. Final approval for On-Site Wastewater Systems WILL NOT be given until clearing, surveying and a final plat has been submitted. **6/22/2021 Not Met**

If you have any questions, please call the Temple office at (254) 778.7557.

#### **Clearwater Underground Water Conservation District, Dirk Aaron**

**6/23/2021** Clearwater UWCD (CUWCD) has completed a desktop geodatabase investigation and records review for groundwater wells per your request. The Bell CAD properties reviewed were PIDs #54618 (28.68 acres), #104247 (53.7 acres), #467848 (37.362 acres), #350274 (3.744 acres), #467849 (2.383 acres), and #20034 (8.943 acres) based on the proposed subdivision known as the Stone Lake Trails Subdivision.

Item 1: Database review determined two wells exist on the proposed subdivision known as the Stone Lake Trails Subdivision. E-02-2811G is located at 31.051289 degrees latitude -97.583659 degrees longitude. It must be plugged as the proposed subdivision places this well in the middle of a street. E-21-055G is located at 31.043792 degrees latitude -97.583332 degrees longitude. It will be retained as part of Block 2 Lot 76 of the proposed subdivision and will require a setback waiver once the property is subdivided.

Item 2: Once the subdivision replat is approved and subdivided as requested, future drilling of a non-exempt permitted well will be possible for beneficial use on Block 2, Lots 75, 77, and 80 of the subdivision known as Stone Lake Trails Subdivision. *Non-exempt permitted wells* on tracts less than 10 acres and greater than or equal to 2 acres is possible under district rules if the purpose is of the well meets the definition of beneficial use. The remaining tracts in the subdivision will not be allowed a groundwater production well, as they are all smaller than 2 acres. Tracts labeled as retention areas are also not allowed future wells.

Item 3: The proposed subdivision lies in the Dog Ridge Water Supply Corporation's CCN #10048, thus public water supply to the proposed subdivision is solely the responsibility of Dog Ridge WSC.

Item 4: The following is *language to be placed on the dedication/notes/certification under signature*.

1 | Clearwater Underground Water Conservation District (CUWCD) is a political subdivision of the State of Texas and underground water conservation district created and operating under and by virtue of Article XVI, Section 59, of the Texas Constitution; Texas Water Code Chapter 36; the District's enabling act, Act of May 27, 1989, 71<sup>st</sup> Legislature, Regular Session, Chapter 524 (House Bill 3172), as amended by Act of April 25, 2001, 77<sup>th</sup> Legislature, Regular Session, Chapter 22 (Senate Bill 404), Act of May 7, 2009, 81<sup>st</sup> Legislature, Regular Session, Chapter 64 (Senate Bill 1755), and Act of May 27, 2015, 84<sup>th</sup> Legislature, Regular Session, Chapter 1196, Section 2 (Senate Bill 1336)(omnibus districts bill); and the applicable general laws of the State of Texas; and confirmed by voters of Bell County on August 21, 1999.

*\*\*Clearwater Underground Water Conservation District (CUWCD) District Rules based on Chapter 36 "Texas Groundwater Code" prevent the drilling of Exempt Wells for \*\*domestic use on tracts of land platted to less than 10 acres after March 1<sup>st</sup>, 2004. Permitting of Wells on tracts less than 10-acres and greater than or equal to 2-acres is possible under district rules if the purpose of the well meets the definition of beneficial use. Per District Rules and Chapter 36, all drilling of wells on tracts of land platted to less than 2 acres after March 1<sup>st</sup>, 2004, is not possible". All current and future wells must meet the 100-ft setback requirement of all on-site septic systems, unless the well is constructed with an approved sanitary seal allowing setback from the on-site septic to be reduce to a minimum 50 feet. Clearwater UWCD District Rules are at: <http://www.cuwcd.org>*

CLEARWATER UNDERGROUND WATER CONSERVATION DISTRICT (CUWCD) CERTIFICATE

CUWCD is the regulatory authority for groundwater wells in Bell County and hereby certifies that this proposed subdivision has been evaluated for on-site groundwater production wells. In its current condition, the proposed subdivision meets our expectations described by District Policy and affirmed by District Staff.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

**2|** *Clearwater Underground Water Conservation District (CUWCD) is a political subdivision of the State of Texas and underground water conservation district created and operating under and by virtue of Article XVI, Section 59, of the Texas Constitution; Texas Water Code Chapter 36; the District's enabling act, Act of May 27, 1989, 71<sup>st</sup> Legislature, Regular Session, Chapter 524 (House Bill 3172), as amended by Act of April 25, 2001, 77<sup>th</sup> Legislature, Regular Session, Chapter 22 (Senate Bill 404), Act of May 7, 2009, 81<sup>st</sup> Legislature, Regular Session, Chapter 64 (Senate Bill 1755), and Act of May 27, 2015, 84<sup>th</sup> Legislature, Regular Session, Chapter 1196, Section 2 (Senate Bill 1336)(omnibus districts bill); and the applicable general laws of the State of Texas; and confirmed by voters of Bell County on August 21, 1999.*





## CITY COUNCIL MEMORANDUM

**P21-20**

**AGENDA ITEM #V-2**

**FROM: THE OFFICE OF THE CITY MANAGER**

**DATE: JULY 6, 2021**

**DISCUSS AND CONSIDER APPROVING A REQUEST FOR PRELIMINARY PLAT APPROVAL FOR THE SUBDIVISION REFERRED TO AS CORONA DE VIDA ADDITION, ON PROPERTY DESCRIBED AS A 9.997 ACRE TRACT OF LAND IN BELL COUNTY, TEXAS, BEING PART OF THE URIAH HUNT SURVEY, ABSTRACT NO. 401, THE LAND HEREIN BEING ALL OF A CALLED 9.99 ACRE TRACT OF LAND CONVEYED IN A WARRANTY DEED TO CORONA DE VIDA, A NONPROFIT CORPORATION, BEING DESCRIBED OF RECORD IN DOCUMENT NO. 2020021660, OFFICIAL PUBLIC RECORDS OF REAL PROPERTY, BELL COUNTY, TEXAS, GENERALLY LOCATED EAST OF COMANCHE GAP ROAD, HARKER HEIGHTS, BELL COUNTY, TEXAS.**

**PROJECT DESCRIPTION:**

The applicant submitted an application for preliminary plat approval for approximately 9.997 acres of vacant land east of Comanche Gap Road. The proposed development will consist of 1 lot that is currently zoned One Family Dwelling District (R-1). The 2007 Future Land Use Map shows the future use of this property to be Commercial, Medium Density Residential, and Single Family Residential. The applicant indicated that the proposed use for this parcel is as a Church. The proposed subdivision is located within the Knight's Way Overlay District, and any development within this subdivision will be required to comply with standards set forth in the Overlay District.

Staff reviewed the submitted preliminary plat and engineering plans and made comments to address safety, drainage, water and wastewater utilities and other pertinent requirements to ensure that all developmental regulations stipulated in the City of Harker Heights Code of Ordinances will be adhered to.

**STAFF RECOMMENDATION:**

As of June 30, 2021, staff's comments were adequately addressed. The Bell County Public Health Department's outstanding comments can be addressed at the time of site development. Therefore, staff recommended to the Planning & Zoning Commission the approval of the Preliminary Plat for the subdivision referred to as Stone Lake Trails.

**ACTION TAKEN BY THE PLANNING AND ZONING COMMISSION:**

During the Planning & Zoning Commission meeting held on June 30, 2021, the Planning and Zoning Commission voted (9-0) to approve a Preliminary Plat for the subdivision referred to as Corona De Vida Addition, on property described as a 9.997 acre tract of land in Bell County, Texas, being part of the Uriah Hunt Survey, Abstract No. 401, the land herein being all of a called 9.99 acre tract of land conveyed in a warranty deed to Corona De Vida, a nonprofit corporation, being described of record in Document No. 2020021660, official public records of real property, Bell County, Texas, generally located east of Comanche Gap Road, Harker Heights, Bell County, Texas.

**ACTION BY THE CITY COUNCIL:**

1. Motion to **approve, approve with conditions, or disapprove with explanation** a request for Preliminary Plat for the subdivision referred to as Corona De Vida Addition, on property described as a 9.997 acre tract of land in Bell County, Texas, being part of the Uriah Hunt Survey, Abstract No. 401, the land herein being all of a called 9.99 acre tract of land conveyed in a warranty deed to Corona De Vida, a nonprofit corporation, being described of record in Document No. 2020021660, official public records of real property, Bell County, Texas, generally located east of Comanche Gap Road, Harker Heights, Bell County, Texas.
2. Any other action desired.

**ATTACHMENTS:**

1. Application
2. Corona De Vida Addition - Preliminary Plat
3. Corona De Vida Addition - Preliminary Engineering Documents
4. Location Map
5. Staff Comments with Responses (Sent 06/10/21 & 7/1/21; Received 06/23/21)



# Minor/Amending Plat Application

\* Requirements - APPLICATION MUST BE FULLY COMPLETED OR WILL NOT BE ACCEPTED \*

This application must be completed and returned to the Planning and Development Department of the City of Harker Heights, Texas along with the following:

1. Pre-Application Meeting with Staff to ensure applicability
2. Payment of \$150.00 + \$3.00 per acre
3. Signed & Original Field Notes and Dedication

City of Harker Heights  
 Planning & Development  
 305 Millers Crossing  
 Harker Heights, TX 76548  
 Phone: (254) 953-5647  
 Fax: (254) 953-5666

### Property Information:

Plat Name: CORONA DE VIDA ADDITION Date Submitted: Jun 2, 2021

Existing Lot Count: 1 Proposed Lot Count: 1 Acreage: 9.997

Site Address or General Location: 14025 FM 2410, Harker Heights, TX 76548

Reason for Amendment/  
Description of Subdivision: CLIENT REQUESTED A 1 LOT SUBDIVISION

Zoning Classification: R1 Existing Land Use: Agricultural

Located in Overlay District?:  Yes  No

### Owner Information/Authorization:

Property Owner: CORONA DE VIDA, a Texas nonprofit corporation

Address: 311 Wrought Iron Drive, Harker Heights, TX 76548

Phone: [REDACTED] E-mail: [REDACTED]

Developer: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Engineer/Surveyor: Mitchell & Associates, Inc.

Address: 102 N. College/P.O. Box 1088 Killeen, TX 76540

Phone: [REDACTED] E-mail: [REDACTED]

HEREBY UNDERSTAND AND ACKNOWLEDGE:  
 THE MINOR PLAT INVOLVES **FOUR OR FEWER LOTS** FRONTING ONTO AN EXISTING STREET WHERE THE CREATION OF A NEW STREET OR THE EXTENSION OF MUNICIPAL FACILITIES ARE NOT REQUIRED  
**OR**  
 THE AMENDEND PLAT DOES NOT INCREASE THE NUMBER OF LOTS AND DOES NOT REQUIRE A NEW STREET OR EXTENSION OF MUNICIPAL FACILITIES.

Rafael Estevez

PRINTED NAME OF OWNER:

[Signature]

OWNER SIGNATURE:

SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 2nd DAY OF June, 2021

[Signature]  
NOTARY PUBLIC SIGNATURE

MY COMMISSION EXPIRES: 10-20-2024



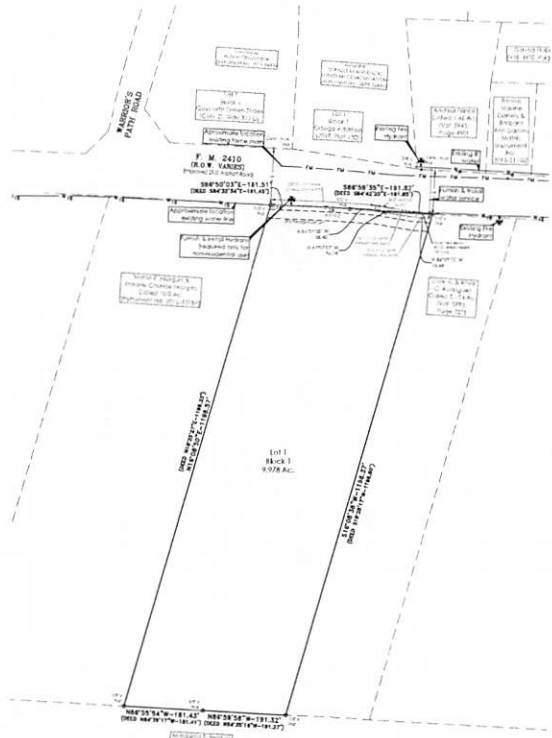
**STAFF ONLY -- DO NOT FILL OUT BELOW**

Date Submitted: \_\_\_\_\_ Receipt #: \_\_\_\_\_

Received By: \_\_\_\_\_  Pre-Application Meeting Case #: \_\_\_\_\_

GRAPHIC SCALE

1" = 100'



- NOTES**
- All bearings are based on the Texas Coordinate System, NAD 83 (CORS No. Texas Central Zone 14), determined by Texas Texas Survey (TTS) data.
  - All distances are surface distances.
  - Cornered lots shall be surveyed in accordance with the Texas Survey Code of Ordinances, Chapter 161, Section 161.001.
  - The subdivision is located in Zone 14, unless determined to be outside the 28-foot drainage easement, as indicated on the U.S. State Agency Boundary Map, Flood Insurance Rate Map, Atlas to 4822 (2012), effective date September 20, 2008 for Bell County, Texas.
  - The property is currently zoned R-1 and no change in zoning is intended.
  - A sidewalk shall be constructed as a part of any permitted development options.
  - The subdivision will be served by on-site sewerage facilities (OSF), the 100' of the Harker Heights Code of Ordinances, city sanitary sewer is not reasonably available, the street connection point is greater than 100 feet from the property. The Bell County Health Department must approve any on-site sewerage facilities installation prior to construction.
  - All development shall be in accordance to the Harker Heights Code of Ordinances. Any development involving a removal of trees, stormwater flow shall be mitigated by the owner. Facilities are approved equipment.

**PROPERTY OWNER**  
 Corona de Vida  
 311 Wrought Iron Dr  
 Harker Heights, TX 76548

**SURVEYOR/ENGINEER**  
 MITCHELL & ASSOCIATES, INC.  
 P. O. Box 1088  
 Killeen, TX 76540

**CORONA DE VIDA ADDITION**  
**HARKER HEIGHTS, BELL COUNTY, TEXAS**  
**PRELIMINARY PLAT - NOT TO BE RECORDED**

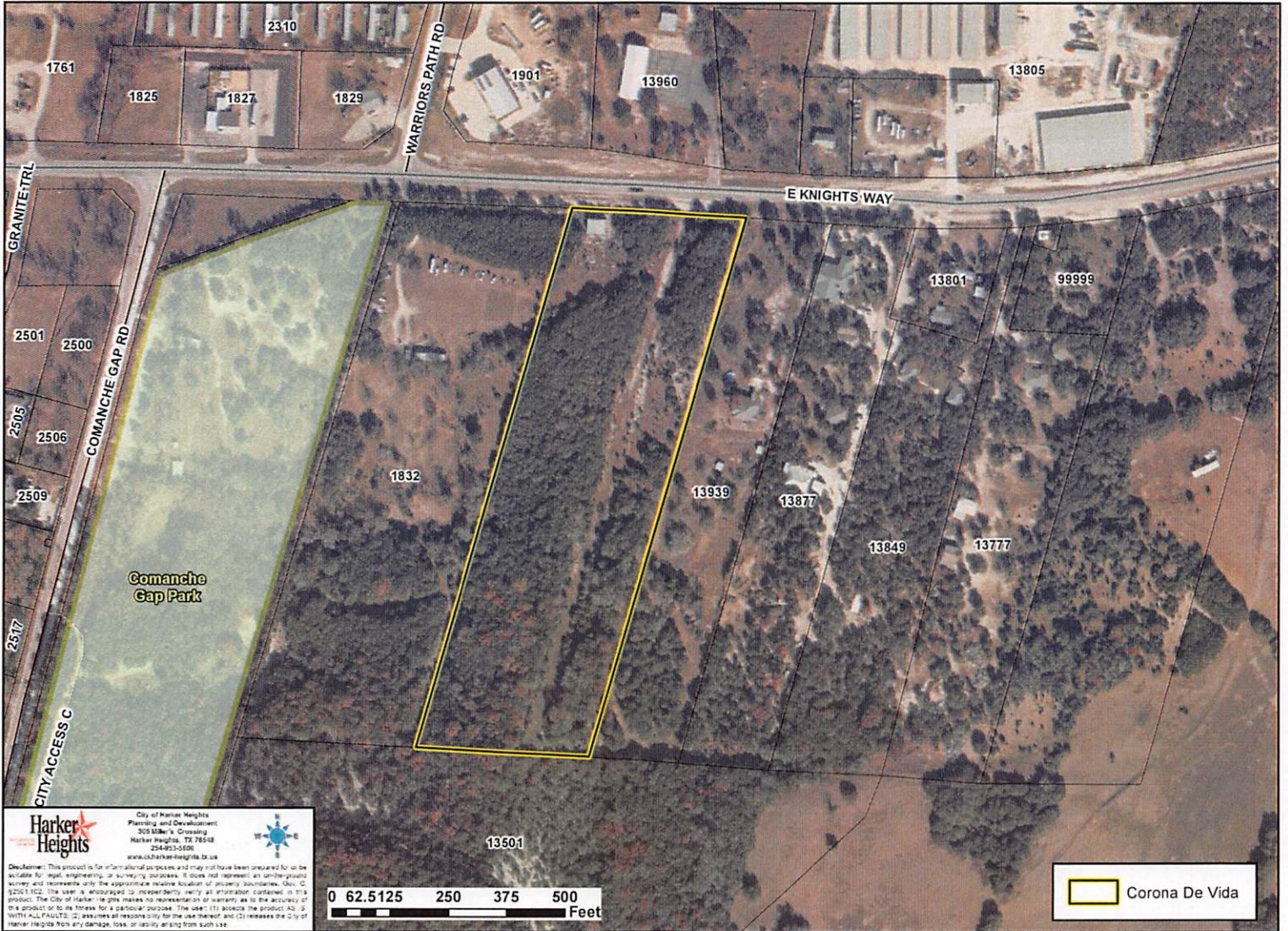


**MITCHELL & ASSOCIATES, INC.**  
 ENGINEERING & SURVEYING  
 KILLEEN, TEXAS 76541  
 P.O. Box 1088  
 Killeen, TX 76540

DATE	BY	SCALE	YEAR	1" =	1" =	1" =
08/20/2014	JK	AS SHOWN	2014	100'	100'	100'

P21-20

Location



**Harker Heights**  
 City of Harker Heights  
 Planning and Development  
 303 Main Crossing  
 Harker Heights, TX 78548  
 254-923-5626  
 www.ci.harkerheights.tx.us

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an underground survey and represents only the approximate relative location of property boundaries. Use: (1) as a guide only; (2) as a reference only; (3) as a record of information contained in this product. The City of Harker Heights makes no representation or warranty as to the accuracy of this product or its fitness for a particular purpose. The user: (1) accepts the product "AS IS" WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Harker Heights from any damage, loss, or liability arising from such use.



Corona De Vida

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# CORONA DE VIDA ADDITION

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## P21-20 Minor Plat – Corona De Vida Addition

Plat Distributed to HH Staff: June 3, 2021

Comments Returned to Mitchell and Associates: **June 10, 2021**

### Planning & Development, Kristina Ramirez & Yvonne Spell

1. Applicant is advised to schedule a mandatory predevelopment meeting with city staff (contact Wilson Everett 254-953-5648).
2. Provide LLC paperwork and provide authorization for those who can sign for Corona de Vida.
3. Zoning proceeds platting and will be required to change the existing R-1 zoning to a Commercial zoning for the proposed development.
4. Applicant is advised that the Knight's Way Overlay District requirements apply to development on this parcel. As a result, sidewalks are required. Additionally, the applicant must be able to provide fire coverage for the proposed commercial structure which may require an additional fire hydrant and water main. These extensions of public infrastructure trigger the preliminary plat process.
5. Applicant shall provide all required items for a concept plan and/or a preliminary plat per §154.20 & §154.21 and the Knight's Way Overlay District requirements.
6. Applicant shall provide for a 30' wide passage easement connecting the driveway to the adjacent lots to the east and west.
7. Applicant shall provide half of the lacking right of way to meet the 120' required width along those lots that abut FM 2410 (major arterial).
8. Per §154.20(B)(6) applicant shall provide an as-built for the existing property (structures, OSSF, etc.).
9. Applicant shall connect to the City's existing sewer system for the proposed commercial development. Regarding sanitary sewer capacity for this development, the City of Harker Heights has conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen-Fawn Valley Lift Station, the Trimmier Lift Station and associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. The City of Harker Heights has engineering design underway for the sanitary sewer capacity expansion. Developers will be required to pay for the sanitary sewer expansion costs required to serve their subdivision. Please meet with the Director of Public Works regarding this item.

### Public Works, Mark Hyde

1. No Comments

### Consulting Engineer, Otto Wiederhold

1. No Comments

**Fire Marshal, Brad Alley**

1. No Comments

**Building Official, Mike Beard**

1. A 50' build line is noted on the plat. No zoning district within City of Harker Heights requires 50'. Minimum front setback for R-1 is 25', for R-1R is 40' and for commercial zoning is 25'. Remove setback from plat.

**ONCOR**

1. Oncor has facilities on these plats and will need to keep the current easements.

**Century Link, Chris McGuire**

1. No Comments

**Time Warner Cable/Spectrum, Shaun Whitehead**

1. City of Harker Heights Planning Department has not heard back from the entity and comments may be forthcoming as of 06/09/21.

**ATMOS, Burton Jones**

1. City of Harker Heights Planning Department has not heard back from the entity and comments may be forthcoming as of 06/09/21.

**TXDOT, Billy Tweedle**

1. TxDOT requests a one-foot non-access easement to be placed along the entire frontage being broken only at the existing access location.

**Bell County Public Health, Kent Stephens & Sarah Little**

1. I went to look at Corona De Vida Addition yesterday (6/7/21). I called Mitchell & Associates, Inc and this property is going to be developed as a commercial lot. I cannot approve the subdivision until I get more info. Per our local order all subdivisions proposed for commercial use, after the effective date of these Rules, must show a site-specific design for the facility and the design must show 2x's the proposed drainfield area. The secondary drainfield area must meet the provisions of TAC 30 Chapter 285.

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# CORONA DE VIDA ADDITION

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## P21-20 Minor Plat – Corona De Vida Addition

Plat Distributed to HH Staff: June 3, 2021

Comments Returned to Mitchell and Associates: June 10, 2021

Response: June 24, 2021

### Planning & Development, Kristina Ramirez & Yvonne Spell

1. Applicant is advised to schedule a mandatory predevelopment meeting with city staff (contact Wilson Everett 254-953-5648).  
[A predevelopment meeting has been held for this project.](#)
2. Provide LLC paperwork and provide authorization for those who can sign for Corona de Vida.  
[Corporate resolution has been provided.](#)
3. Zoning proceeds platting and will be required to change the existing R-1 zoning to a Commercial zoning for the proposed development.  
[This property is currently zoned as R-1. According to City of Harker Heights Code of Ordinances, 155.20 \(A\) \(2\) churches and other places of worship are allowed in the current zoning.](#)
4. Applicant is advised that the Knight's Way Overlay District requirements apply to development on this parcel. As a result, sidewalks are required. Additionally, the applicant must be able to provide fire coverage for the proposed commercial structure which may require an additional fire hydrant and water main. These extensions of public infrastructure trigger the preliminary plat process.  
[A note has been added to reference the required sidewalk. The internal layout of the property has yet to be determined thus the need for internal fire hydrants is unknown at this time.](#)
5. Applicant shall provide all required items for a concept plan and/or a preliminary plat per §154.20 & §154.21 and the Knight's Way Overlay District requirements.  
[Submittal revised to a preliminary plat.](#)
6. Applicant shall provide for a 30' wide passage easement connecting the driveway to the adjacent lots to the east and west.  
[Review of the adjoining properties appear the show existing access points to FM2410/ Knight's Way. The requested passage easement has been shown with the understanding that the same will be required of the adjoining properties at the time of any platting action.](#)
7. Applicant shall provide half of the lacking right of way to meet the 120' required width along those lots that abut FM 2410 (major arterial).  
[A dedication of 0.019 ac. has been added.](#)
8. Per §154.20(B)(6) applicant shall provide an as-built for the existing property (structures, OSSF, etc.).  
[According to City of Harker Heights Code of Ordinances, 154.20 \(B\) \(6\), as-built drawings are required after construction of infrastructure.](#)
9. Applicant shall connect to the City's existing sewer system for the proposed commercial development. Regarding sanitary sewer capacity for this development, the City of Harker Heights has



conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen-Fawn Valley Lift Station, the Trimmer Lift Station and associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. The City of Harker Heights has engineering design underway for the sanitary sewer capacity expansion. Developers will be required to pay for the sanitary sewer expansion costs required to serve their subdivision. Please meet with the Director of Public Works regarding this item.

Due to the lack of a reasonably available sanitary connection point the property will be served by an OSSF. A Registered Sanitarian has been engaged for consultation of system design.

**Public Works, Mark Hyde**

1. No Comments

**Consulting Engineer, Otto Wiederhold**

1. No Comments

**Fire Marshal, Brad Alley**

1. No Comments

**Building Official, Mike Beard**

1. A 50' build line is noted on the plat. No zoning district within City of Harker Heights requires 50'. Minimum front setback for R-1 is 25', for R-1R is 40' and for commercial zoning is 25'. Remove setback from plat.

The 25' building line has been rendered redundant by the requested 30' passage easement, as such it has been removed.

**ONCOR**

1. Oncor has facilities on these plats and will need to keep the current easements.  
Existing overhead electric was observed along the north property line; a 10' UE is provided.  
No other facilities have been located or made known to us.

**Century Link, Chris McGuire**

1. No Comments

**Time Warner Cable/Spectrum, Shaun Whitehead**

1. City of Harker Heights Planning Department has not heard back from the entity and comments may be forthcoming as of 06/09/21.

**ATMOS, Burton Jones**

1. City of Harker Heights Planning Department has not heard back from the entity and comments may be forthcoming as of 06/09/21.

**TXDOT, Billy Tweedle**

1. TxDOT requests a one-foot non-access easement to be placed along the entire frontage being broken only at the existing access location.  
[A one-foot non-access easement has been provided with a single 30' access point.](#)

**Bell County Public Health, Kent Stephens & Sarah Little**

1. I went to look at Corona De Vida Addition yesterday (6/7/21). I called Mitchell & Associates, Inc and this property is going to be developed as a commercial lot. I cannot approve the subdivision until I get more info. Per our local order all subdivisions proposed for commercial use, after the effective date of these Rules, must show a site-specific design for the facility and the design must show 2x's the proposed drainfield area. The secondary drainfield area must meet the provisions of TAC 30 Chapter 285.  
[A Registered Sanitarian has been engaged for consultation of system design.](#)

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# CORONA DE VIDA ADDITION

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## P21-20 Minor Plat – Corona De Vida Addition

Plat Distributed to HH Staff: June 3, 2021

Revised Plat Distributed to HH Staff: June 24, 2021

Comments Returned to Mitchell and Associates: July 1, 2021

### Planning & Development, Kristina Ramirez & Yvonne Spell

1. Applicant is advised to schedule a mandatory predevelopment meeting with city staff (contact Wilson Everett 254-953-5648). **6/30/21 Met.**
2. Provide LLC paperwork and provide authorization for those who can sign for Corona de Vida. **6/30/21 Met.**
3. Zoning proceeds platting and will be required to change the existing R-1 zoning to a Commercial zoning for the proposed development. **6/30/21 Met.**
4. Applicant is advised that the Knight's Way Overlay District requirements apply to development on this parcel. As a result, sidewalks are required. Additionally, the applicant must be able to provide fire coverage for the proposed commercial structure which may require an additional fire hydrant and water main. These extensions of public infrastructure trigger the preliminary plat process. **6/30/21 Met.**
5. Applicant shall provide all required items for a concept plan and/or a preliminary plat per §154.20 & §154.21 and the Knight's Way Overlay District requirements. **6/30/21 Met.**
6. Applicant shall provide for a 30' wide passage easement connecting the driveway to the adjacent lots to the east and west. **6/30/21 Met.**
7. Applicant shall provide half of the lacking right of way to meet the 120' required width along those lots that abut FM 2410 (major arterial). **6/30/21 Met.**
8. Per §154.20(B)(6) applicant shall provide an as-built for the existing property (structures, OSSF, etc.). **6/30/21 Response Noted.**
9. Applicant shall connect to the City's existing sewer system for the proposed commercial development. Regarding sanitary sewer capacity for this development, the City of Harker Heights has conducted an engineering study on the remaining sanitary sewer capacity of the Evergreen-Fawn Valley Lift Station, the Trimmier Lift Station and associated lift station force mains and receiving gravity sanitary sewer mains. The sanitary sewer system serving this proposed subdivision is currently at capacity. The City of Harker Heights has engineering design underway for the sanitary sewer capacity expansion. Developers will be required to pay for the sanitary sewer expansion costs required to serve their subdivision. Please meet with the Director of Public Works regarding this item. **6/30/21 Response Noted. Applicant**

is advised that approval of the proposed septic system design by Bell County Public Health shall be required prior to approval of the final plat.

**Public Works, Mark Hyde**

1. No Comments

**Consulting Engineer, Otto Wiederhold**

1. No Comments  
6/24/2021 No Comments.

**Fire Marshal, Brad Alley**

1. No Comments

**Building Official, Mike Beard**

1. A 50' build line is noted on the plat. No zoning district within City of Harker Heights requires 50'. Minimum front setback for R-1 is 25', for R-1R is 40' and for commercial zoning is 25'. Remove setback from plat. 6/30/21 Met.

**ONCOR**

1. Oncor has facilities on these plats and will need to keep the current easements.  
6/29/2021 Oncor would like the PUE to be increased from 10' to 15' due to facilities present.

**Century Link, Chris McGuire**

1. No Comments

**Time Warner Cable/Spectrum, Shaun Whitehead**

1. City of Harker Heights Planning Department has not heard back from the entity and comments may be forthcoming as of 06/09/21.

**ATMOS, Burton Jones**

1. City of Harker Heights Planning Department has not heard back from the entity and comments may be forthcoming as of 06/09/21.

**TXDOT, Billy Tweedle**

1. TxDOT requests a one-foot non-access easement to be placed along the entire frontage being broken only at the existing access location.  
6/25/2021 TXDOT does concur.

**Bell County Public Health, Kent Stephens & Sarah Little**

1. I went to look at Corona De Vida Addition yesterday (6/7/21). I called Mitchell & Associates, Inc and this property is going to be developed as a commercial lot. I cannot approve the subdivision until I get more info. Per our local order all subdivisions proposed for commercial use, after the effective date of these Rules, must show a site-specific design for the facility and the design must show 2x's the proposed drainfield area. The secondary drainfield area must meet the provisions of TAC 30 Chapter 285.

**6/24/2021 I have not received a commercial site-specific design for this subdivision that shows 2x's the proposed drainfield area. A subdivision evaluation cannot be done until I have received that information.**



## CITY COUNCIL MEMORANDUM

### AGENDA ITEM# IX-1

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**FROM: THE OFFICE OF THE CITY MANAGER**

**DATE: JULY 6, 2021**

**RECEIVE AND DISCUSS AN UPDATE AND PRESENTATION FROM CLARENCE ENOCHS OF THE NATIONAL MOUNTED WARFARE FOUNDATION.**

**EXPLANATION:**

The National Mounted Warfare Foundation is an organization which honors the legacy of Mounted Warfare Soldiers. The Foundation is building a world-class museum in the Heart of Texas next to Fort Hood. This museum will honor our mounted soldiers and provide a unique educational experience, preserving and interpreting the story of Soldiers who have served at Fort Hood and in mounted units worldwide. The museum will allow visitors to understand the history of Fort Hood and Central Texas.

**ATTACHMENTS:**

None



## COUNCIL MEMORANDUM

# AGENDA ITEM # IX-2

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FROM: THE OFFICE OF THE CITY MANAGER

DATE: JULY 6, 2021

**RECEIVE AND DISCUSS A PRESENTATION TO AMEND §151.001 AND §151.003 OF THE HARKER HEIGHTS CODE OF ORDINANCES TO ADD A DEFINITION AND EXEMPTION FOR “WALL ART”.**

**EXPLANATION:**

The City has received requests for non-commercial murals to be placed on the external walls of structures. The existing sign ordinance groups defines all murals as a regulated sign. This limits the ability for non-commercial murals to be painted on walls of structures.

**ANALYSIS**

As proposed, the ordinance amendment provides a common definition for “Wall Art” that classifies non-commercial murals as art. Additionally, the proposed ordinance is in line with the use of non-commercial murals covered under recent Freedom of Speech court cases.

**ATTACHMENTS:**

1. Draft Ordinance
2. Strike Through Version of the Existing Ordinance

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF HARKER HEIGHTS, TEXAS AMENDING §151.001 and §151.003 OF THE CODE OF ORDINANCES; CREATING A DEFINITION OF “WALL ART”; PROVIDING AN EXEMPTION FOR “WALL ART” AND PROVIDING FOR AN EFFECTIVE DATE OF THE AMENDMENTS**

**WHEREAS**, the City Council (“*Council*”) of the City of Harker Heights (“*City*”) finds that it is necessary and desirable to amend the Code of Harker Heights (“*Code*”) as hereinafter provided in order to preserve the public peace; and

**WHEREAS**, Wall Art can be a source of pride for communities; and

**WHEREAS**, Wall Art is protected under the first amendment; and

**WHEREAS**, the meeting at which this Ordinance was passed was open to the public, and notice of the time, place and purpose of said meeting was given as required by law, all in strict accordance with the requirements of the Texas Open Meetings Act;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS, TEXAS:**

**SECTION 1:** The City Council officially finds and declares that the facts and recitations set forth in the preamble to this ordinance are true and correct.

**SECTION 2:** SIGN REGULATIONS §151.001 and §151.003 of the Code of Ordinances of the City of Harker Heights is hereby amended to read as follows:

**§ 151.001 DEFINITIONS.**

...

WALL ART. A mural or display designed or intended as a decorative or ornamental feature that is painted or placed directly onto a wall that contains no copy, advertising symbols, lettering, trademarks or other references to products, services, goods or anything sold on or off premises.

...

**§ 151.003 PERMITS NOT REQUIRED.**

...

(N) Wall Art.

**SECTION 3:** All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.



**SECTION 4:** All regulations provided in this Ordinance are hereby declared to be governmental and for the health, safety and welfare of the general public. Any member of the City Council or any City official or employee charged with the enforcement of this Ordinance, acting for the City in the discharge of official duties, shall not thereby become personally liable, and is hereby relieved from all personal liability for any damage that might accrue to persons or property as a result of any act required or permitted in the discharge of said duties.

**SECTION 5:** The change in the law made by this Ordinance applies only to an offense committed on or after the effective date of this Ordinance. For purposes of this section, an offense is committed on or after the effective date of this Ordinance if every element of the offense occurs on or after that date.

**SECTION 6:** An offense committed before the effective date of this Ordinance is covered by the law in effect when the offense was committed, and the former law is continued in effect for that purpose.

**SECTION 7:** This Ordinance shall be effective from and after its passage, and the City Clerk shall publish the caption or title of hereof within ten days of approval as required by law.

**PASSED AND APPROVED AT A REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF HARKER HEIGHTS ON THE 8<sup>TH</sup> DAY OF JUNE, 2021, AT WHICH MEETING A QUORUM WAS PRESENT, HELD IN STRICT ACCORDANCE WITH HE PROVISIONS OF TEXAS GOVERNMENT CODE, CHAPTER 551.**

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Spencer H. Smith, Mayor

ATTEST:

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Juliette Helsham, City Secretary

## **§ 151.001 DEFINITIONS.**

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning. All other words contained in this chapter shall have definitions as they appear in the current edition of Webster's New Collegiate Dictionary.

**ADDRESS SIGN.** A sign denoting the street address number and/or the name of the owner of the property, which sign is located on the same site as the building.

**ALTERATIONS.** Any change in copy, content, color, size, shape, position, location, construction, or supporting structure.

**AREA OF SIGN.** The area included within the outer dimensions of a sign, including those portions of the frame or support structure which either border or adjoin the face of the sign, or are of a size, dimension, or configuration which is intended to attract attention or are in excess of that necessary to support the sign. In the case of a multiple-faced sign, each face shall be deemed to be a separate sign for the purposes of determining the area of sign; each face is entitled to the allowable sign area. If a sign is placed on a wall or other surface, or if letters or other portions of the sign are supported individually, without any border, the area shall be computed by enclosing the entire sign within sets of parallel lines. The portion of the sign represented by a logo shall be calculated by enclosing the logo in geometrical figures consisting of right angles only from which the total area may be calculated.

**AWNING.** A projecting overhang of a rigid frame but otherwise composed of flexible canvas, nylon, or similar material.

**BUILDING.** Any structure used or intended for supporting or sheltering any use or occupancy.

**BUILDING IDENTIFICATION SIGN.** A sign displaying the name and/or address of a building, which sign is located on the same site as the building.

**BUILDING OFFICIAL.** The person who is so designated by the Building Code of the city, or his designated deputy.

**BUSINESS IDENTIFICATION SIGN.** A sign displaying the name of the business to which it pertains and/or the names or description of the products or services sold or offered by such business at the site on which the business and sign are located.

**CHANGEABLE ELECTRONIC VARIABLE MESSAGE SIGN (CEVMS).** A sign which permits light to be turned on or off periodically or which is operated in a way whereby light is turned on or off periodically (including any illuminated sign on which such illumination is not kept stationary or constant in intensity and color at all times when such sign is in use, LED (light emitting diode) sign or digital sign) and which varies in intensity or color. A CEVMS sign does not include a sign located within the right-of-way that functions as a traffic control device and that is described and identified in the Manual on Uniform Traffic Control Devices (MUTCD) approved by the Federal Highway Administrator as the national standard.

**CONSTRUCTION SIGN.** A temporary sign stating the names of those individuals or businesses directly connected with a construction project, or with any maintenance or improvement activity on a property including financial institutions, general and

subcontractors, architectural, and engineering firms, painting, roofing, and landscaping firms, and all such parties, addresses, and telephone numbers.

**FACE OF A BUILDING.** The general outer surface, not including cornices, windows, openings, or architectural projections of any kind.

**FACE, SIGN FACE, OR FACE OF A SIGN.** Any plane or other side of a sign which is painted or stained or lighted or has lettering or is illustrated, separately or in combination, to attract attention. In the case of a side other than a plane, the area thereof shall be computed as including only the minimum single display surface which is visible from any one position from which persons might usually view the same.

**FACIA SIGN.** Any sign attached to the facia of a building. It shall include any sign attached to a "projecting overhang" as defined in this section.

**FREE-STANDING SIGN.** A sign which is supported by one or more uprights, braces, pedestals, or other solid foundations in or upon the ground. It may be a multi-face sign and shall also include signs sometimes referred to as post signs, monument signs, pole signs, or ground signs.

**GARAGE SALE OR ESTATE SALE SIGNS.** Signs advertising the sale by the homeowner of items of personal property and containing only the words "Garage Sale" or "Estate Sale."

**GLASS FRONTAGE.** Total area of the front and side of a building: facing or abutting a public street or courtyard or parking area; utilized by a particular business; and, consisting of windows, show windows, or other glass covered space, through which the interior of the building is visible.

**GRADE.** The level of the public sidewalk at the closest distance to the sign, or ground level at the wall to which a sign may be attached, whichever is higher.

**ILLUMINATED SIGN OR LIGHTED SIGN.** Terms which may be used interchangeably and shall refer to any sign which has a source of light, either internal or external, for the purpose of illuminating such sign.

**INSTITUTIONAL SIGN.** Any on-premises sign relating to schools, churches, hospitals, universities, or similar institutions.

**LICENSED CONTRACTOR.** An individual, firm, or corporation duly licensed by the city to perform sign work required by the Standard Building Code.

**LOST PET SIGN.** A sign indicating the loss of a pet giving a description thereof and the address and phone number of the owner.

**MAINTENANCE AND MINOR REPAIRS.** All routine work associated with a sign that does not constitute a change in the sign configuration, structure, or size, such as painting, bulb or ballast replacement, replacement of facings, and the like.

**MEDICAL EMERGENCY FACILITY DIRECTORY SIGN.** Any sign which advises vehicular or pedestrian traffic of proper direction solely to emergency facilities of a hospital or medical clinic.

**MONUMENT SIGN.** A sign which has, as an integral part of its supporting structure, a message intended to attract attention, and said message may extend to grade. In differentiating from a ground sign, a MONUMENT SIGN has no free clearance between the face of the sign and the ground. Any such sign shall be considered a MONUMENT SIGN.

**OFF-PREMISES SIGN.** Any sign that advertises products, goods, services, business entities, or other items, entities, or activities that are not located on the same premises as the sign.

**ON-PREMISES SIGN.** Any sign that advertises products, goods, services, business entities, or other items, entities, or activities that are located on the same premises as the sign.

**POLITICAL SIGN.** A temporary sign indicating the name and/or picture of an individual seeking election or appointment to a public office, or relating to a forthcoming public election or referendum, or pertaining to the advocating by persons, groups, or parties of political views or policies.

**PORTABLE SIGN.** Any sign or other advertising device which is not intended to be permanently affixed to the ground or any supporting structure. Such signs include trailer-mounted signs. The Building Official shall have the authority to determine what signs are portable on a case by case basis.

**PROJECTING SIGN.** A sign which projects from and is supported by a wall of a building with the display surface of the sign in a plane other than a plane parallel to the wall.

**PUBLIC ROADWAY.** The entire width between property lines of a road, street, way, thoroughfare, or bridge if any part of same is open to the public for vehicular or pedestrian traffic.

**PYLON SIGN.** A free-standing structure which contains two or more separate business identification signs for entities within a shopping mall, strip center, or similar project.

**REAL ESTATE SIGN.** (Such as a "for sale" sign, "for lease" sign, "for rent" sign, and the like.) A sign indicating that the premises on which the sign is located, or any portion thereof, is for sale, lease, or rent, and containing any of the following information: a description of the premises offered for sale, lease, or rent. The sign may include information indicating a pending contract or the fact that the property is sold, or the fact that the building is open for public viewing.

**ROOF SIGN.** A sign located upon and above the roof of any building.

**SHINGLE SIGN.** A flat, non-electric, wooden or metal sign not exceeding 32 square feet in area, that is attached flat to the wall of a building.

**SHOPPING CENTER.** Any identifiable area or group of buildings or stores commonly referred to as SHOPPING CENTERS with one or more businesses having their principal or main entrance off and adjacent to parking areas or parking facilities and shall include any area so designated by the Building Official, or any pedestrian arcade, courtyard, promenade, or mall, whether covered by a roof or not, within or between any structures or buildings, upon which the principal or main entrance to one or more retail business therein are located.

**SIGN.**

(1) Any writing, name, number, figure, character, outline, emblem, graphic, window etching, stained or painted glass, mark, logo, mural, symbol, spectacle, display, delineation, announcement, advertising, billboard, signboard, flag, banner, pennant, bunting, device, appliance, structure erected for the purposes of supporting a sign, or any other thing of similar nature designed to attract attention outdoors, in or on any trace or wall, window, or store front of any building, or on any pole or other form of support or structure and shall

include all parts, portions, units, and materials composing the same, together with the frame, background, and support or anchorage thereof.

(2) The following shall not be deemed to be included within the definition of SIGN:

(a) Signs of a duly constituted governmental body including, but not limited to, traffic or similar regulatory devices required by law, and warnings at railroad crossings.

(b) Signs required to be maintained by law or governmental order, rule, or regulation provided that the total surface area of all such signs on any one lot or parcel does not then exceed ten square feet or as required by state law.

(c) Signs placed by a public utility for the safety, welfare, or convenience of the public, such as signs identifying high voltage, public telephone, or underground cable.

(d) Signs upon a vehicle, trailer, boat, or wagon, provided that any such vehicle, trailer, boat, or wagon with signs thereon is not conspicuously parked or left standing for advertising purposes so as to constitute a device or other type of sign pursuant to the definition of a SIGN.

(e) Signs not more than two in number and noticing or soliciting the sale, lease, or hire of a vehicle to which such signs are attached if such signs are nine inches by 12 inches or less.

(f) Signs located inside a building or structure provided the sign is not so located as to be visible and readable without intentional and deliberate effort from outside the building or structure.

(g) Barber poles of the traditional type and design not exceeding three feet in height (vertical portion of the pole) and not erected so as to extend more than 12 inches from the front of the building to which it is attached.

(h) Noncommercial decorations in a residential zone commemorating a generally recognized seasonal event or occasion.

(i) Commemorative/historical markers which have been approved by the City Council.

(j) Stained-glass windows in a residence or in a place of worship, as long as no commercial connotation is associated with same.

SITE. All of that contiguous ground area legally assembled into or as part of one building or business location, or one residence.

TEMPORARY SIGN. That type of sign that is not intended to remain in place indefinitely, and has a purpose limited in time.

WALL ART. A mural or display designed or intended as a decorative or ornamental feature that is painted or placed directly onto a wall that contains no copy, advertising symbols, lettering, trademarks or other references to products, services, goods or anything sold on or off premises.

WALL SIGN. A sign which is affixed to (or painted on) an exterior wall of any building or structure with the display surface of the sign in a plane parallel to the plane of the wall.

(Ord. 92-19, passed 10-6-92; Am. Ord. 2008-16, passed 5-27-08)

§ 151.002 PERMITS REQUIRED.

It shall be unlawful to erect, re-erect, construct, alter, or install any sign except as provided by this chapter and pursuant to a required permit for the same issued by the Building Official. Except as hereinafter provided, a permit shall be required for each sign. In addition, electrical permits shall be obtained for lighted or illuminated signs. A permit for alteration of a sign which involves only a change in copy, content, or color and which does not involve any change in any part of the structure or lighting of the sign itself shall not be denied on the basis that the sign is otherwise nonconforming, if such sign was erected in accordance with applicable city ordinances in force at the time.

(Ord. 92-19, passed 10-6-92) Penalty, see § 151.999

#### § 151.003 PERMITS NOT REQUIRED .

The following shall be subject to all other requirements of this chapter even though a permit shall not be required therefor:

- (A) Maintenance and minor repairs to existing signs for which a valid permit was obtained if required at the time of the initial installation.
- (B) Repainting without the alteration of existing signs to which a valid permit was obtained if required at the time of the initial installation.
- (C) Signs for public safety and convenience or those required for the enforcement of private property rights, such as "Entrance," "Parking," "No Trespassing," or "No Parking" provided not more than one such sign is maintained on each street, courtyard, or alley frontage on each site area and provided such signs do not exceed 150 square inches in area in any residential zone or four square feet in any non-residential zone.
- (D) Public notice signs, such as notices to remove weeds.
- (E) Flags as permitted by § 151.016.
- (F) Political signs.
- (G) Garage sale or estate sale signs.
- (H) Lost pet signs.
- (I) Real estate signs.
- (J) Address and security protection signs.
- (K) Temporary signs advertising items for sale, as long as such signs do not constitute portable or free-standing signs as defined in this chapter and do not exceed two square feet in area.
- (L) Construction signs.
- (M) Changes in copy or content of changeable-type signs and legal nonconforming portable signs which were not constructed or installed in violation of any ordinance.

(N) Wall Art.

(Ord. 92-19, passed 10-6-92) Penalty, see § 151.999